

GENERAL NOTES

- "THE CONTRACTOR", AS NOTED HEREIN, SHALL REFER TO ALL TRADE CONTRACTORS AND SUB-CONTRACTORS WORKING ON THIS PROJECT. THE CONTRACTOR, IS RESPONSIBLE FOR, BUT NOT LIMITED TO, THE FOLLOWING:
- SUMMARY:**
 - SCOPE OF SERVICES:**
THE DESIGN INFORMATION SHOWN HERE, PROVIDED BY GAMBINO + LAPORTA ARCHITECTURE, PC IS LIMITED TO THE INFORMATION DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, AND RELATES TO ARCHITECTURAL ISSUES ONLY. ALL SITE WORK, ELECTRICAL, HVAC, PLUMBING, STRUCTURAL AND RELATED ENGINEERING DESIGN AND INFORMATION SHALL BE THE RESPONSIBILITY OF OTHERS.
 - PLANS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS WILL GOVERN THE WORK TO BE DONE. ANYTHING MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE PLANS AND DETAILED DRAWINGS, OR ANYTHING SHOWN ON THE PLANS AND NOT MENTIONED IN THE SPECIFICATIONS, SHALL BE OF LIKE EFFECT AS THOUGH SHOWN OR MENTIONED IN BOTH. SPECIFICATIONS AND PLANS REFERRED TO IN ANY OF THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS BEING INCLUDED IN THE DOCUMENT IN WHICH SUCH REFERENCE IS MADE. A REFERENCE TO A PARTICULAR SPECIFICATION OR STANDARD PLAN IN A CONTRACT DOCUMENT SHALL EXCLUDE ANY EARLIER OR LATER MODIFICATION THEREOF. WHEN A PARTICULAR STANDARD OR SPECIFICATION IS REFERRED TO, SUCH REFERENCE SHALL BE TO THE STANDARD OR SPECIFICATION INCLUDING OFFICIALLY ADOPTED REVISIONS OR AMENDMENTS THERETO WHICH ARE IN FORCE AT THE TIME OF ADVERTISING FOR BIDS.
 - ALL WORK SHALL CONFORM TO THE APPROVED AND CURRENT EDITIONS OF ALL FEDERAL, STATE AND LOCAL CODES HAVING JURISDICTION.
 - THE DOCUMENTS SHALL NOT BE SCALED FOR INFORMATION. ALL DIMENSIONS ARE NOMINAL, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO SUBMITTING BIDS, AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES, INCLUDING DISCREPANCIES BETWEEN ALL ENGINEERING DISCIPLINES AND OBTAIN WRITTEN CLARIFICATION FROM THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - THE ARCHITECT IS NOT RESPONSIBLE FOR THE MEANS OR METHODS OF CONSTRUCTION.
 - GENERAL CONTRACTOR SHALL ENSURE ALL NECESSARY APPROVALS AND PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF THE WORK.
 - THE GENERAL CONDITIONS OF THE AIA DOCUMENT A-201, LATEST EDITION, ARE PART OF THIS CONTRACT AND SHALL APPLY TO ALL CONTRACTORS.
 - THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, APPOINTMENTS, EQUIPMENT AND SERVICES NECESSARY AND REQUIRED TO COMPLETE HIS SCOPE OF WORK AS INDICATED ON THE DRAWINGS AND/OR CALLED FOR IN THE SPECIFICATIONS.
 - THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENCLOSURES BARRIERS, SCAFFOLDING, LADDERS, TEMPORARY SUPPORTS, BRACINGS, ETC., AS REQUIRED FOR SAFETY, AS IT RELATES TO HIS SCOPE OF WORK.
 - ALL CONTRACTORS AND SUBCONTRACTORS ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS SAFETY AND SECURITY ON THE JOB SITE.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL WORK BY AND BETWEEN THE SUBCONTRACTORS.
 - THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK BY AND BETWEEN THE SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR THE SUPERVISION OF THE WORK. THE GENERAL CONTRACTOR SHALL BEAR ALL COSTS ARISING FROM RECTIFYING WORK KNOWINGLY PERFORMED CONTRARY TO LAW OR BEST PRACTICE.
 - THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS OF CONSTRUCTION, SAFETY AND SECURITY ON THE JOB SITE.
 - MATERIALS, METHODS AND QUALITY OF WORKMANSHIP SHALL MEET OR EXCEED INDUSTRY STANDARDS.
 - GUARANTEE & PERFORMANCE. THE CONTRACTOR, IN HIS ACCEPTANCE OF THE CONTRACT FOR THE WORK HEREIN, AGREES THAT THE GUARANTEE PERIODS COVERING LABOR AND WORKMANSHIP, MATERIALS, AND EQUIPMENT SHALL BE FOR ONE YEAR UNLESS OTHERWISE REQUIRED IN THE SPECIFICATIONS.
 - THE CONTRACTOR'S PRICE SHALL ALSO INCLUDE INSURANCE COVERAGES; AND PROVISIONS FOR ALL NECESSARY SECURITY AND SAFETY REQUIREMENTS. THE CONTRACTOR SHALL NOT COMMENCE WORK UNDER THIS CONTRACT UNTIL HE HAS OBTAINED ALL THE INSURANCE NECESSARY. THE INSURANCE REQUIRED SHALL BE MAINTAINED IN FORCE UNTIL ALL WORK TO BE PERFORMED UNDER THE TERMS OF THE CONTRACT IS SATISFACTORILY COMPLETED AND ACCEPTED.
 - ALL DRAWINGS AND SPECIFICATIONS AND COPIES THEREOF FURNISHED BY GAMBINO + LAPORTA ARCHITECTURE PC ARE AND SHALL REMAIN THE PROPERTY OF GAMBINO + LAPORTA ARCHITECTURE PC. THEY ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT.
 - THESE DRAWINGS ARE INTENDED ONLY AS AN OUTLINE FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL DESIGN NOT SPECIFICALLY AND COMPLETELY SHOWN AND SPECIFIED. ALL ASSUMPTIONS REACHED FROM REVIEW OF THESE DRAWINGS SHALL BE TOTALLY THE RESPONSIBILITY OF THE PARTY MAKING THE ASSUMPTIONS.
 - ALL DIMENSIONS ON PLANS ARE NOMINAL AND ARE CALCULATED EXISTING CONDITION. CRITICAL DIMENSIONS ARE NOTED "HOLD". FINISHED DIMENSIONS WILL VARY IN ACTUAL CONSTRUCTION.
 - THE CONTRACTOR SHALL VERIFY AND PROTECT ALL SERVICE LINES AND EXISTING SITE AREAS FROM DETERIORATION OR DAMAGE.
 - THE CONTRACTOR SHOULD MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN CONSENT OF THE ARCHITECT.
 - ALL MANUFACTURER'S PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. THE WORDS "OR EQUAL" ARE TO BE ASSUMED WHENEVER A SPECIFIC MANUFACTURER IS NOTED.
 - ALL WORK IN PROGRESS SHALL BE ADEQUATELY BRACED AND PROTECTED UNTIL CONSTRUCTION IS COMPLETED.
 - THE BUILDING PERMIT AND ALL REQUIRED PERMITS AND INSPECTION FEES SHALL BE OBTAINED BY THE CONTRACTOR.
 - CONTRACTOR IS RESPONSIBLE FOR SAFETY PRECAUTIONS ON THE JOB.
 - THE OWNER ASSUMES NO LIABILITY FOR EXISTING DEVELOPED CONDITIONS IN RESPECT TO THE BUILDING SITE, SUBSURFACE WATER, ROCK OR SOIL, BACK FILL MATERIALS OR METHODS USED, ETC.
 - CONTRACTOR IS RESPONSIBLE FOR CONTRACTING WITH OR HIRING A THIRD PARTY INSPECTION AGENCY FOR ALL REQUIRED SPECIAL INSPECTION/PROGRESS INSPECTIONS.

ABBREVIATIONS

ACT	ACTUAL/ACOUSTIC CEILING TILE	DIA	DIAMETER	FRT	FIRE-RESISTANT TREATED	FTD	PAINTED
ADDTL	ADDITIONAL	DIM	DIMENSION	FTG	FOOTING	RD	ROOF DRAIN
AFF	ABOVE FINISH FLOOR	DBL	DOUBLE	GA	GAUGE	RO	ROUGH OPENING
ALUM	ALUMINUM	DR	DOOR	GALV	GALVANIZED	SHWR	SHOWER
ANOD	ANODIZED	DWG	DRAWING	GNB	GYPSPUM WALLBOARD	SIM	SIMILAR
APPROX	APPROXIMATE	DTL	DETAIL	GYP	GYPSPUM	SM	SMOOTH
BD	BOARD	EIFS	EXTERIOR INSULATION FINISH SYSTEM	SMOFT	SQUARE FEET	STD	STANDARD
BLK	BLOCK	EJ	EXPANSION JOINT	STD	STANDARD	SPB	STEEL PIPE BOLLARD
BLNKT	BLANKET	EL	ELEVATION	STL	STEEL	STRUCT	STRUCTURAL/STRUCTURE
BRK	BRICK	ELEV	ELEVATOR	SYS	SYSTEM	TEMP	TEMPERED
CAB	CABINET	EQ	EQUAL	THK	THICK	TOS	TOP OF STEEL
CJ	CENTER JOINT	EQUIP	EQUIPMENT	TYP	TYPICAL	UNLESS	UNLESS OTHERWISE NOTED
CL	CENTERLINE	ENC	ELECTRIC WATER COOLER	VERT	VERTICAL	VIF	VERIFY IN FIELD
CLG	CEILING	EXT	EXTERIOR	W	WITH	WC	WATER CLOSET
CLR	CLEAR	EXT'S	EXISTING	WD	WOOD		
CMJ	CONCRETE MASONRY UNIT	FD	FLOOR DRAIN				
COL	COLUMN	FIN	FINISH				
CONC	CONCRETE	FLX	FLEXIBLE				
CONT	CONTINUOUS	FLSH'G	FLASHING				
CTR	COUNTER	FR	FRAME				
CUFT	CUBIC FEET	FT	FOOT				
CWN	CURTAIN WALL	FOUND	FOUNDATION				

ZONING INFORMATION/ZONING ANALYSIS

ARTICLE II. RESIDENCE DISTRICT REGULATIONS

CHAPTER 3: RESIDENTIAL BULK REGULATIONS IN RESIDENCE DISTRICTS

ZR-23-10	OPEN SPACE AND FLOOR AREA REGULATIONS	N/A; NO CHANGE
ZR-23-20	DENSITY REGULATION:	N/A; NO CHANGE
ZR-23-30	LOT AREA AND LOT WIDTH:	N/A; NO CHANGE
ZR-23-40	YARD REGULATIONS:	N/A; NO CHANGE
ZR-23-60	HEIGHT AND SETBACK REGULATION:	N/A; NO CHANGE
ZR-23-70	DISTANCE BETWEEN TWO BUILDINGS:	N/A; NO CHANGE
ZR-23-80	COURT REGULATIONS:	N/A; NO CHANGE
ZR-23-90	INCLUSIONARY HOUSING:	N/A; NO CHANGE

CHAPTER 5: ACCESSORY OFF STREET PARKING AND LOADING: N/A; NO CHANGE

CHAPTER 8: THE QUALITY HOUSING PROGRAM: N/A; NO CHANGE

SPECIAL/PROGRESS INSPECTIONS

THE FOLLOWING IS A LIST OF SPECIAL/PROGRESS INSPECTIONS ONLY BEING IDENTIFIED BY ARCHITECT:

PROGRESS INSPECTION	CODE / SECTION
ENERGY CODE COMPLIANCE INSPECTIONS	BC 104.3.5
FINAL	BC 104.5 (DIRECTIVE 14 OF 1975)

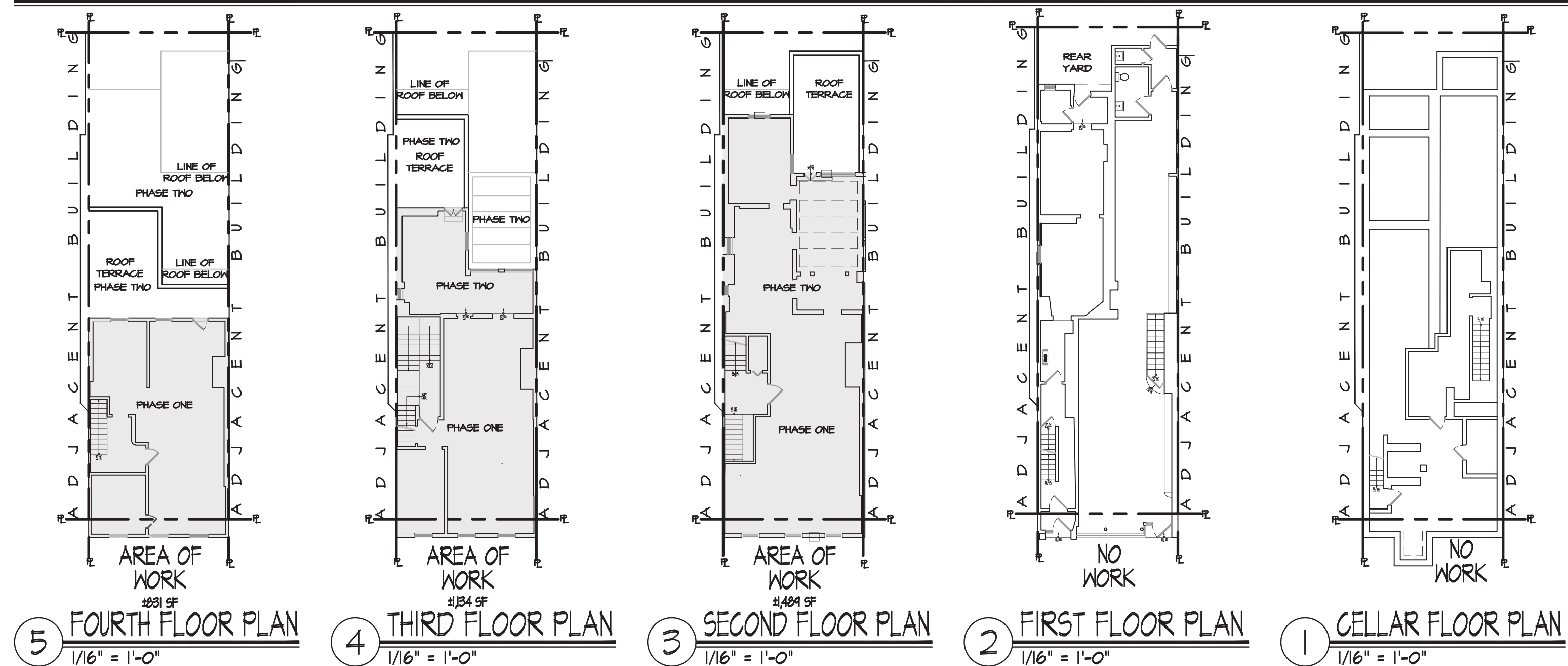
ZONING INFORMATION

PARCEL INFORMATION:

BLOCK:	540
LOT:	10
ZONING DISTRICT:	R7-2 (C1-5 COMMERCIAL OVERLAY)
LOT AREA:	1,841.84 SF
COMMUNITY BOARD:	102
ZONING MAP:	12A
EXISTING ZONING USE GROUP:	2 (RESIDENTIAL) & 6 (COMMERCIAL)

NOTE:
1. NO CHANGE IN ZONING REQUIREMENTS, BULK, USE OR ANY PROVISIONS THAT WOULD CONSTITUTE A ZONING REVIEW

AREA OF WORK



LEGEND

■ DENOTES AREA OF WORK

DRAWING SYMBOLS

ROOM SYMBOL	SECTION SYMBOL	DETAIL SYMBOL	ELEVATION SYMBOL
□ ROOM NUMBER	— DIRECTION OF VIEW	— DETAIL NUMBER	— DIRECTION OF VIEW
◇ TOILET ACCESSORY	— IDENTIFICATION SHEET NUMBER	10LB ABC TYPE FIRE EXTINGUISHER	— IDENTIFICATION SHEET NUMBER
◇ ACCESSORY NUMBER	— TRUE NORTH	10LB FIRE EXTINGUISHER SEMI-RECESSED CABINET	— SHEET NUMBER
— PARTITIONS SYMBOL	— PROJECT NORTH		— DOOR SYMBOL
— PARTITION TYPE			— DOOR NUMBER
— WINDOW TYPE			

ENERGY ANALYSIS

2016 NYC ENERGY CONSERVATION CODE ENERGY CODE COMPLIANCE INSPECTIONS

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE NEW YORK CITY ENERGY CONSERVATION CODE

THE SCOPE OF WORK DOES NOT AFFECT THE ENERGY CONSUMPTION OF THE BUILDING; NO TRS ENERGY CODE PROGRESS INSPECTIONS ARE REQUIRED.

NYCECC - TABULAR ANALYSIS

NYCECC CITATION	PROVISION	ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE PRESCRIPTIVE VALUE (ECC)	SUPPORTING DOCUMENTATION
TABLE C403.2.3	HVAC EQUIPMENT PERFORMANCE REQUIREMENTS	NO HVAC EQUIPMENT	NONE	NO REQUIREMENT	N/A
TABLE C402.3	FENESTRATION	EXISTING WINDOWS TO REMAIN	NONE	NO REQUIREMENT	N/A
TABLE C405.5.2	INTERIOR LIGHTING POWER	EXISTING LIGHTING TO REMAIN	NONE	NO REQUIREMENT	N/A

SCALE: 1/16"=1'-0"

CODE COMPLIANCE- 1968 NYC BUILDING CODE

ALL CONSTRUCTION TO COMPLY WITH THE NEW YORK CITY ADMINISTRATIVE CODE TITLE 28 AND ALL APPLICABLE SUB-CODES:

1968 THE CITY OF NEW YORK BUILDING CODE

NYC DOB-ALTERATION TYPE II-INTERIOR REPAIR WORK

BUILDING INFORMATION:

EXISTING CONSTRUCTION CLASSIFICATION: II-E (1968 BC); IIIB (2014 BC)

EXISTING CONSTRUCTION CLASSIFICATION: J-2 RESIDENTIAL (DOMINANT USE) (1968 BC); R-2 RESIDENTIAL (2014 BC)

EXISTING CONSTRUCTION CLASSIFICATION: CELLAR FLOOR: B-2 (1968 BC); 5-2 (2014 BC)
FIRST FLOOR: C (1968 BC); M (2014 BC)
SECOND FLOOR: J-2 (1968 BC); R-2 (2014 BC)
THIRD FLOOR: J-2 (1968 BC); R-2 (2014 BC)
FOURTH FLOOR: J-2 (1968 BC); R-2 (2014 BC)

EXISTING BUILDING AREA: (OUTSIDE FACE OF EXTERIOR WALLS)

CELLAR FLOOR	± 1,764(0) SF
FIRST FLOOR	± 1,764 SF
SECOND FLOOR	± 1,489 SF
THIRD FLOOR	± 1,134 SF
FOURTH FLOOR	± 831 SF
TOTAL	± 5,218 SF

AREA OF WORK: (INSIDE FACE OF EXTERIOR WALLS)

SECOND FLOOR	± 1,489 SF
THIRD FLOOR	± 1,134 SF
FOURTH FLOOR	± 831 SF
TOTAL	± 3,454 SF

EXISTING BUILDING HEIGHT: 4 STORIES, ± 43'-1"

LANDMARKS PRESERVATION COMMISSION NOTE

NO WORK TO BUILDING FACADE, WINDOWS, AND/OR BUILDING EXTERIOR. ALL EXISTING EXTERIOR CONDITIONS TO REMAIN.

TENANT PROTECTION

A.C. 28-104.8.4
BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN OCCUPIED DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

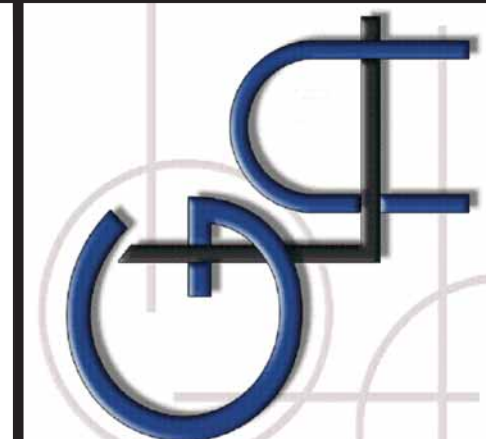
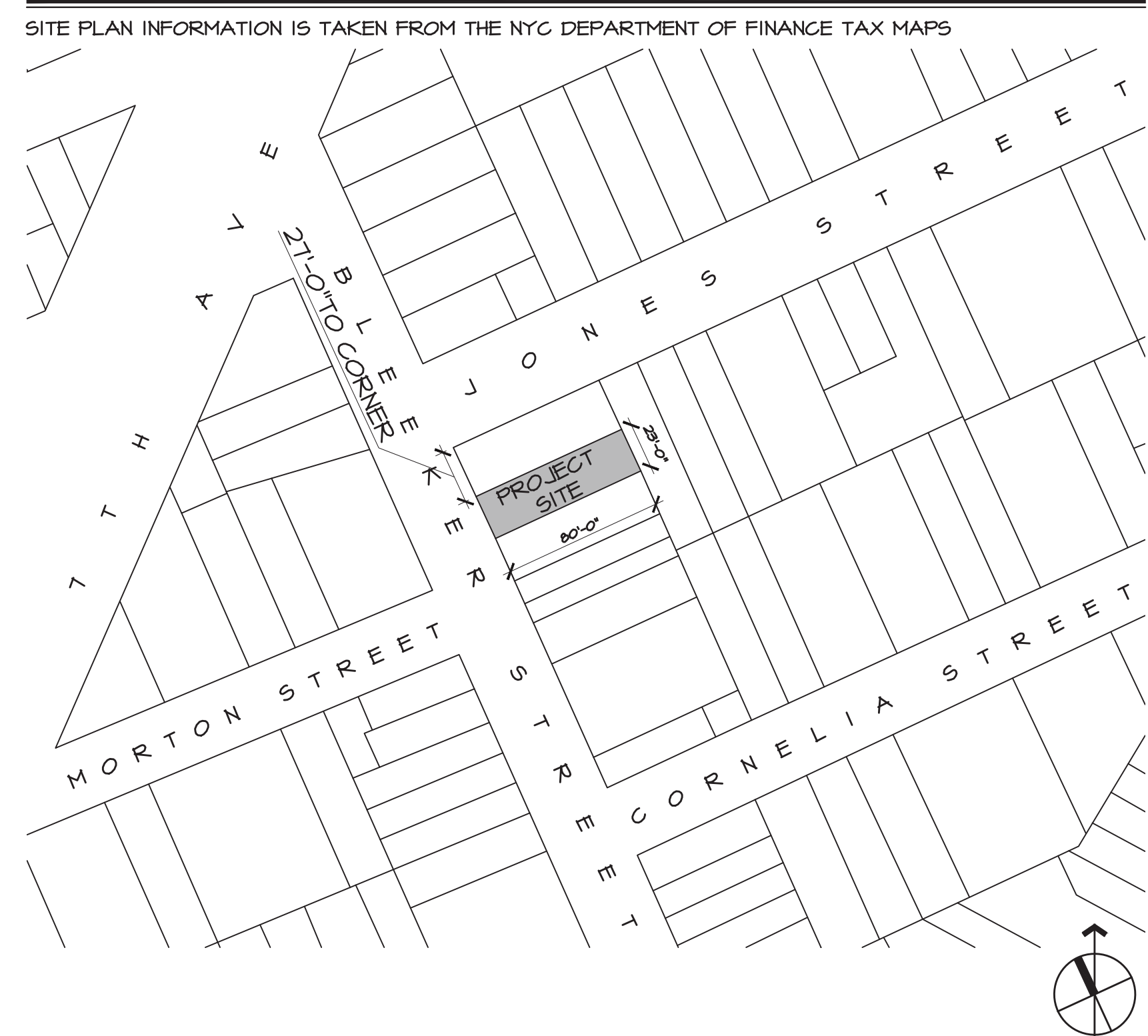
PLUMBING NOTE

ALL PLUMBING WORK ASSOCIATED WITH ROOF DRAINS TO BE FILED UNDER A SEPARATE APPLICATION.

LIST OF DRAWINGS

TOOO	TITLE SHEET	A100	FRAMING PLANS	A-610	WALL REPAIR DETAILS "A"
A010	GENERAL REQUIREMENT NOTES	A100	FRAMING PLANS	A-611	WALL REPAIR DETAILS "B"
A011	GENERAL REQUIREMENT NOTES	A200	BUILDING ELEVATIONS	A-612	WALL REPAIR DETAILS "C"
A012	GENERAL REQUIREMENT NOTES	A201	BUILDING ELEVATIONS	A-613	WALL REPAIR DETAILS "D"
A013	GENERAL REQUIREMENT NOTES	A210	LONGITUDINAL SECTION A-A	A-614	WALL REPAIR DETAILS "E"
A014	GENERAL REQUIREMENT NOTES	A211	LONGITUDINAL SECTION B-B	A-615	WALL REPAIR DETAILS "F"
A015	GENERAL REQUIREMENT NOTES	A212	TRANSVERSE SECTION	A-616	WALL REPAIR DETAILS "G"
A016	EXISTING CONDITION NOTES	A500	WALL SECTION 1	A-617	WALL REPAIR DETAILS "H"
DM101	DEMO FLOOR PLANS	A501	WALL SECTION 2	A-618	WALL REPAIR DETAILS "I"
DM102	DEMO FLOOR PLANS	A502	WALL SECTION 3	A-619	WALL REPAIR DETAILS "J"
DM200	DEMO ELEVATIONS	A503	WALL SECTION 4	EN100	ENERGY ANALYSIS
DM201	DEMO ELEVATIONS	A504	WALL SECTION 5	EN101	ENERGY ANALYSIS
DM210	DEMO SECTIONS	A600	REPAIR DETAILS	EN102	ENERGY ANALYSIS
A100	CELLAR & FIRST FLOOR PLAN	A601	GENERAL REPAIR NOTES		
A101	SECOND & THIRD FLOOR PLAN	A602	'C' JOIST DETAILS		
A102	FOURTH FLOOR & ROOF PLAN	A603	SCHEDULES / DETAILS		
A103	WALL DETAILS				

LOCATION PLAN



GAMBINO + LAPORTA ARCHITECTURE, PC
1298 RICHMOND ROAD STATEN ISLAND, NY 10304
PHONE: 718.667.6682 | FAX: 718.667.1196
EMAIL: STUDIO@GLARCH.COM
WWW.GLARCH.COM

PROJECT NO: 2016-004

NO.	DATE	REVISION	DESCRIPTION
1	10-27-17	ISSUED FOR PERMITS	
2	12-20-17	ISSUED FOR PHASE ONE SCOPE	
3	2-1-18	ISSUED FOR PHASE TWO SCOPE	
4	9-12-18	ISSUED FOR PHASE TWO SCOPE	

275 BLEECKER STREET
BLOCK NO. 540
LOT NO. 10
NEW YORK, NY 10014

WHARTON REALTY
500 FIFTH AVENUE 54TH FLOOR
NEW YORK, NY 10101

TITLE SHEET
SCALE: AS NOTED
SEAL AND SIGNATURE

STEVEN GAMBINO, RA
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHICH THE WORK WAS CONTRACTED OR TO WHOM IT IS CREDITED. THIS DRAWING MAY NOT BE COPIED, REPRODUCED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF GAMBINO+LAPORTA ARCHITECTURE PC. COPYRIGHT 2018.
DATE: PROJECT NO: 2016-004
DRAWN BY: GLA16-0447
CHECKED BY: [Signature]
SCALE: AS NOTED
DRAWING NO: 56
SHEET NO: 01 OF 46

T000.03
SHEET NO: 01 OF 46

GENERAL DEMOLITION NOTES

- ANY ERRORS, OMISSIONS, OR UNUSUAL CONDITIONS TO BE REPORTED TO GAMBINO + LAPORTA ARCHITECTURE, PC, IMMEDIATELY.
- DEMOLITION OPERATIONS ARE TO BE CONDUCTED IN ACCORDANCE WITH CURRENT APPROPRIATE OSHA RULES AND 2014 NEW YORK CITY BUILDING CODE SECTION BC 3306
- BC 3306.2: DEMOLITION OPERATIONS SHALL NOT COMMENCE UNTIL THE APPLICABLE PEDESTRIAN AND ADJOINING PROPERTY IS IN PLACE AS REQUIRED.
- BC 3306.3.2: ADJOINING PROPERTY OWNERS SHALL BE NOTIFIED OF UPCOMING DEMOLITION OPERATIONS IN WRITING NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULING STARTING DATE OF THE DEMOLITION. THE WRITTEN NOTICE SHALL PROVIDE A DESCRIPTION OF THE WORK TO BE PERFORMED, THE TIME FRAME AND SCHEDULE, AND CONTACT INFORMATION OF THE PERSON CAUSING THE DEMOLITION AND OF THE DEPARTMENT.
- BC 3306.4: WHERE MECHANICAL DEMOLITION EQUIPMENT, OTHER THAN HANDHELD DEVICES, IS TO BE USED IN THE FULL OR PARTIAL DEMOLITION OF A BUILDING OR IS TO BE USED TO REMOVE DEBRIS OR MOVE MATERIAL, APPROVAL OF THE COMMISSIONER FOR THE USE OF MECHANICAL DEMOLITION EQUIPMENT MUST BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEMOLITION OPERATIONS.
- BC 3306.4.3: DUST PRODUCING OPERATIONS SHALL BE WETTED DOWN TO THE EXTENT NECESSARY TO CONTROL THE DUST.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION AND PROTECTION OF THE UTILITIES DURING DEMOLITION. CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT ANY ADJACENT EXISTING STRUCTURE AND ABOVE GROUND UTILITIES FROM BEING DAMAGED DURING DEMOLITION.
- BC 3303.5.2: NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE EXTERIOR WALLS OF A BUILDING.
- PROVIDE/ MAINTAIN EGRESS PATHS THROUGHOUT DEMOLITION.
- DEMOLISHED MATERIALS, UNLESS OTHERWISE NOTED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE ON A REGULAR BASIS AND IN A LEGAL MANNER. (SEE TITLE SHEET FOR ADDITIONAL NOTES)

FIRE PREVENTION AND FIRE PROTECTION NOTES:

- BC 3303.7: FIRE-FIGHTING EQUIPMENT, ACCESS AT THE CONSTRUCTION OR DEMOLITION SITE, AND THE CONDUCT OF ALL CONSTRUCTION OR DEMOLITION OPERATIONS AFFECTING FIRE PREVENTION AND FIRE FIGHTING SHALL COMPLY WITH THE NYC FIRE CODE.

DEMOLITION PROCEDURE

- SECURE SITE WITH CONSTRUCTION FENCES THAT MEET THE REQUIREMENTS OF SECTION BC 3307.7.
- BEFORE COMMENCEMENT OF ACTUAL DEMOLITION, ALL AREAS SHALL BE THOROUGHLY CLEANED OF COMBUSTIBLE MATERIALS AND DEBRIS.
- BEFORE COMMENCEMENT OF ACTUAL DEMOLITION, ALL GLASS IN WINDOWS, DOORS, SKYLIGHTS, FIXTURES, AND ALL OTHER NON-STRUCTURAL ELEMENTS SHALL BE REMOVED.
- ALL FOUNDATION, WALL AND SLAB ON GRADE TO BE REMAINED AND UNDISTURBED.
- HAND HELD DEVICES ALLOWED FOR DEMOLITION:
 - CHAIN SAW/ CUTOFF SAWS/ CIRCULAR SAW
 - RECIPROCATING SAW
 - WRECKING BARS
 - CLAW HAMMERS
 - CHISELS (VARIOUS SIZES)
 - DEMOLITION HAMMER WITH GENERATOR/ PNEUMATIC HAMMER WITH COMPRESSOR
 - CHIPPING HAMMER/ CHIPPING GUNS

DEMOLITION DEBRIS NOTES

LIST OF DECONSTRUCTION MATERIALS - POTENTIAL APPLICATION FOR RECYCLING MATERIALS:

- ALUMINUM STRAPS, AND SHEET: RECYCLE AS A METAL
- ASPHALT: BREAK UP AND TRANSPORT ASPHALT-TO-ASPHALT RECYCLING FACILITY OR RECYCLING SITE.
- BRICK: CAN BE REUSED IF WHOLE, CRUSHED FOR USE AS LANDSCAPE COVER, SUB-BASE MATERIAL, OR FILL.
- BUILDING COMPONENT AND FIXTURES: WINDOWS, DOORS, CABINETS, HARDWARE, PLUMBING AND ELECTRICAL FIXTURES MAY BE SALVAGED. PORCELAIN PLUMBING FIXTURES MAY BE CRUSHED FOR FILL.
- CARPET AND CARPET PAD: STORE CLEAN, DRY CARPET AND PAD IN A CLOSED CONTAINER OR TRAILER. CARPET MAY BE ABLE TO BE REUSED OR RECYCLED IF SUFFICIENT QUANTITIES ARE GENERATED.
- CEILING PANEL: IF SUFFICIENT QUANTITIES ARE GENERATED, SORT BY SIZE PALLETIZE, AND SHRINK-WRAP FOR SHIPMENT TO AND RECYCLING BY A CEILING TILE MANUFACTURER.
- CONCRETE: CAN BE CRUSHED AND GRADED FOR USE AS RIPRAP, AGGREGATE, SUB-BASE MATERIAL, OR FILL. NEUTRALIZE ALKALINITY IF PLANTING ABOVE. REMOVE.
- REINFORCEMENT AND OTHER METALS FROM CONCRETE AND SORT WITH OTHER METALS.
- COPPER PIPE AND ACCESSORIES: RECYCLE AS A METAL.
- CORRUGATED CARDBOARD AND PAPER: SEPARATE FOR RECYCLING INTO NEW PAPER PRODUCTS. PAINTED, WAXED OR MUDDY CARDBOARD OR PAPER IS UNSUITABLE FOR RECYCLING AND SHOULD BE DISCARDED.
- DIMENSIONAL LUMBER, ORIENTED STRAND BOARD, PLYWOOD, GRATES, AND PALLET: SORT LARGER PIECES FOR REUSE. WOOD UNSUITABLE FOR REUSE MAY BE USED TO MANUFACTURE PARTICLE BOARD AND OTHER COMPOSITE WOOD PRODUCTS. CHIP OR SHRED WOOD FOR USE AS ANIMAL BEDDING, LANDSCAPE USE, GROUND COVER, MULCH, COMPOST, PULP, OR PROCESS FUEL. DO NOT CHIP OR SHRED STAINED, PAINTED OR TREATED WOOD. SOME RECYCLERS HAVE EQUIPMENT TO REMOVE NAILS.
- DOORS AND HARDWARE: IF SEPARATED FOR REUSE, BRACE OPEN END OF DOOR FRAMES. EXCEPT FOR REMOVING DOOR CLOSURES, LEAVE DOOR HARDWARE ATTACHED TO DOORS.
- GLASS CONTAINERS: RECYCLE AS GLASS.
- GYPSUM BOARD: GYPSUM WALLBOARD TO BE PROCESS AND LAND SPREAD MUST BE NEW AND CLEAN CONSTRUCTION SCRAP FREE OF TAPE, JOINT COMPOUNDS, PAINT, NAILS, SCREWS, OR OTHER CONTAMINANTS. ONLY REGULAR 1/2" DRYWALL, TYPE "X" DRYWALL, AND PLASTER BASE (STANDARD BLUE BOARD) MAY BE USED FOR A SOIL AMENDMENT. THE FOLLOWING PAPER-FACED GYPSUM PANEL CAN NOT BE USED AS A SOIL AMENDMENT: MR (GREEN BOARD), SPLITBACK (BLACK BOARD), MOLD RESISTANT PANELS OR SPECIALTY TYPE "X". THESE CONTAIN ADDITIVES WHICH MAY NOT BE SUITABLE AS A SOIL AMENDMENT.

PARTITION LEGEND

- EXISTING BUILDING ELEMENTS TO REMAIN
- EXISTING BUILDING ELEMENTS TO BE REMOVED

SEQUENCE OF OPERATIONS

- SUPPORT ANY AND ALL STRUCTURAL / LOAD BEARING MEMBERS
- REPAIR / REMOVE EXTERIOR WALLS
- REMOVE AND REPLACE SUB-FLOOR AND FLOOR FRAMING

TENANT PROTECTION

A.C. 28-104.8.4
BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN OCCUPIED DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

REPAIR NOTES

SAFE SUPPORT OF LOADS
NEW FRAMING, INCLUDING ALL RELATED BRACES, SHORING, FRAMING AND AUXILIARY CONSTRUCTION, SHALL BE PROPORTIONED, ERECTED, SUPPORTED, BRACED AND MAINTAINED SO THAT IT WILL SAFELY SUPPORT ALL VERTICAL AND LATERAL LOADS THAT MIGHT BE APPLIED UNTIL SUCH LOADS CAN BE SUPPORTED BY THE PERMANENT CONSTRUCTION.

VERTICAL AND LATERAL LOADS
VERTICAL AND LATERAL LOADS SHALL BE CARRIED TO THE GROUND BY THE FRAMING AND REPAIR SYSTEM AND BY THE NEW FRAMING AFTER IT HAS ATTAINED ADEQUATE STRENGTH FOR THAT PURPOSE, OR BY EXISTING STRUCTURES, FRAMING AND NOGGING AND THEIR SUPPORTS SHALL BE DESIGNED SO AS NOT TO DAMAGE EXISTING OR NEWLY INSTALLED STRUCTURES.

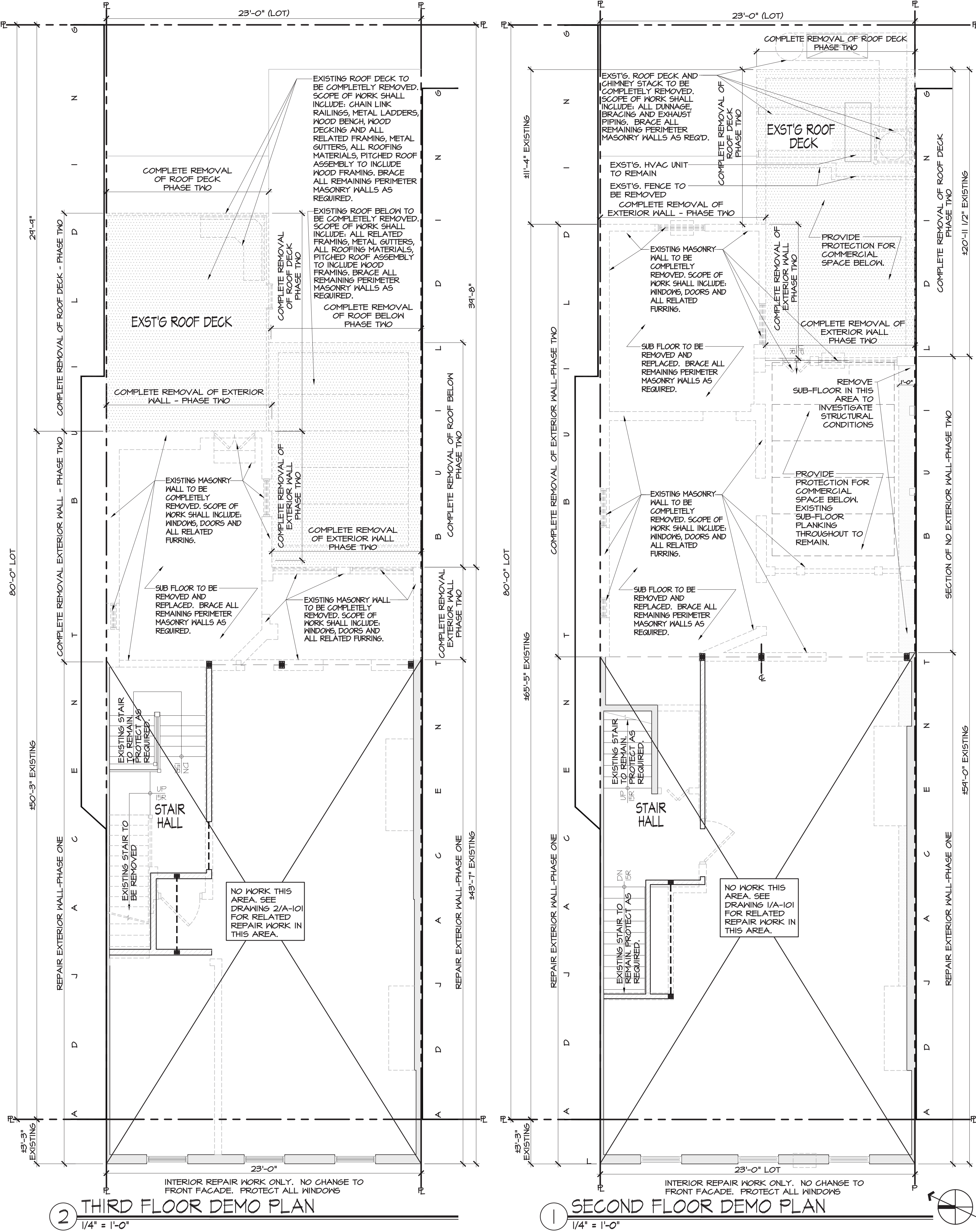
TEMPORARY BRACING
TEMPORARY BRACING SHALL BE PROVIDED TO SUPPORT ALL LOADS IMPOSED UPON THE FRAMEWORK DURING CONSTRUCTION THAT ARE IN EXCESS OF THOSE FOR WHICH THE FRAMEWORK WAS DESIGNED.

UNSAFE CONDITIONS
ANY UNSAFE CONDITION OR NECESSARY ADJUSTMENT REVEALED BY INSPECTION SHALL BE REMEDIATED IMMEDIATELY. IF DURING CONSTRUCTION, ANY WEAKNESS DEVELOPS AND THE EXISTING BUILDING FRAMING SHOWS ANY UNDUE SETTLEMENT OR DISTORTION, THE WORK SHALL BE STOPPED, THE AFFECTED CONSTRUCTION REMOVED IF PERMANENTLY DAMAGED, AND THE BUILDING STRUCTURE BRACED AND SUPPORTED.

ADJOINING WALLS
MAINTAIN THE STRUCTURAL INTEGRITY OF SUCH WALLS AND ADJOINING STRUCTURE, AND HAVE A REGISTERED DESIGN PROFESSIONAL INVESTIGATE THE STABILITY AND CONDITION OF THE WALL AND ADJOINING STRUCTURE, AND TAKE ALL NECESSARY STEPS TO PROTECT SUCH WALL AND STRUCTURE.

DEMOLITION DEBRIS NOTES CONTINUED

- LAND CLEARING DEBRIS: CAN BE CHIPPED OR SHREDDED FOR USE AS A GROUND COVER, MULCH, COMPOST, PULP OR PROCESS FUEL.
- LIGHTING FIXTURES: SEPARATE LAMPS BY TYPE AND PROTECT FROM BREAKAGE. FLUORESCENT TUBES MUST BE RECYCLED BY LAW.
- MISCELLANEOUS FERROUS AND NONFERROUS METALS: SEPARATE FOR RECYCLING. BANDING, STUD CUT-OFFS, CEILING GRID, DUCTWORK, CONDUIT, REBAR, ROOFING, PIPE, SHEET METALS, EXTRUDED METALS, CASTINGS, MISCELLANEOUS STEEL SHAPES, AND OTHER METAL PARTS.
- PIPING: IF SEPARATED FOR REUSE, REDUCE PIPING TO STRAIGHT LENGTHS AND STORE BY TYPE AND SIZE. SEPARATE SUPPORTS, HANGERS, VALVES, SPRINKLER HEADS, AND OTHER COMPONENTS BY TYPE AND SIZE.
- PRECAST CONCRETE PANELS: MAY BE ABLE TO BE CRUSHED AND USED FOR EROSION CONTROL OR LANDSCAPE FEATURES.
- SHEET METAL SCRAP AND METAL DUCT ACCESSORIES: RECYCLE AS A METAL.
- STRUCTURAL STEEL: CAN BE USED IN THE MANUFACTURE OF STRUCTURAL STEEL.
- VINYL: SIDING, WINDOW EXTRUSIONS, FLOOR TILES, AND SHEET FLOORING MAY BE ABLE TO BE SEPARATED FOR RECYCLING INTO NEW VINYL PRODUCTS.



② THIRD FLOOR DEMO PLAN
1/4" = 1'-0"

① SECOND FLOOR DEMO PLAN
1/4" = 1'-0"

GAMBINO + LAPORTA ARCHITECTURE, PC
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REV#	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR PERMITS
2	12-20-17	ISSUED FOR PHASE ONE SCOPE
3	2-20-18	ISSUED FOR PHASE TWO SCOPE
4	9-12-18	ISSUED FOR PHASE TWO SCOPE

PROJECT TITLE	275 BLEEKER STREET
BLOCK NO.	590
LOT NO.	10
CLIENT	WHARTON REALTY
ADDRESS	500 FIFTH AVENUE 54TH FLOOR
CITY	NEW YORK, NY 10010

PHASE TWO DEMO PLANS:	AS NOTED
SECOND FLOOR & THIRD FLOOR DEMO PLAN	
SCALE	AS NOTED
SEAL AND SIGNATURE	

STEVEN GAMBINO, R.A.
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DATE: PROJECT NO: GLA16-0447
DRAWN BY: NT
CHECKED BY: SG
DRAWING NO: DM101.00
SHEET NO: 01 OF 46

GENERAL DEMOLITION NOTES

- ANY ERRORS, OMISSIONS, OR UNUSUAL CONDITIONS TO BE REPORTED TO GAMBINO + LAPORTA ARCHITECTURE, P.C. IMMEDIATELY.
- DEMOLITION OPERATIONS ARE TO BE CONDUCTED IN ACCORDANCE WITH CURRENT APPROPRIATE OSHA RULES AND 2014 NEW YORK CITY BUILDING CODE SECTION BC 3306
- BC 3306.2: DEMOLITION OPERATIONS SHALL NOT COMMENCE UNTIL THE APPLICABLE PEDESTRIAN AND ADJOINING PROPERTY IS IN PLACE AS REQUIRED.
- BC 3306.3.2: ADJOINING PROPERTY OWNERS SHALL BE NOTIFIED OF UPCOMING DEMOLITION OPERATIONS IN WRITING NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULING STARTING DATE OF THE DEMOLITION. THE WRITTEN NOTICE SHALL PROVIDE A DESCRIPTION OF THE WORK TO BE PERFORMED, THE TIME FRAME AND SCHEDULE, AND CONTACT INFORMATION OF THE PERSON CAUSING THE DEMOLITION AND OF THE DEPARTMENT.
- BC 3306.4: WHERE MECHANICAL DEMOLITION EQUIPMENT, OTHER THAN HANDHELD DEVICES, IS TO BE USED IN THE FULL OR PARTIAL DEMOLITION OF A BUILDING OR IS TO BE USED TO REMOVE DEBRIS OR MOVE MATERIAL, APPROVAL OF THE COMMISSIONER FOR THE USE OF MECHANICAL DEMOLITION EQUIPMENT MUST BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEMOLITION OPERATIONS.
- BC 3306.4.3: DUST PRODUCING OPERATIONS SHALL BE WETTED DOWN TO THE EXTENT NECESSARY TO CONTROL THE DUST.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION AND PROTECTION OF THE UTILITIES DURING DEMOLITION. CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT ANY ADJACENT EXISTING STRUCTURE AND ABOVE GROUND UTILITIES FROM BEING DAMAGED DURING DEMOLITION.
- BC 3303.5.2: NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE EXTERIOR WALLS OF A BUILDING.
- PROVIDE/ MAINTAIN EGRESS PATHS THROUGHOUT DEMOLITION.
- DEMOLISHED MATERIALS, UNLESS OTHERWISE NOTED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE ON A REGULAR BASIS AND IN A LEGAL MANNER. (SEE TITLE SHEET FOR ADDITIONAL NOTES)

FIRE PREVENTION AND FIRE PROTECTION NOTES:

- BC 3303.7: FIRE-FIGHTING EQUIPMENT, ACCESS AT THE CONSTRUCTION OR DEMOLITION SITE, AND THE CONDUCT OF ALL CONSTRUCTION OR DEMOLITION OPERATIONS AFFECTING FIRE PREVENTION AND FIRE FIGHTING SHALL COMPLY WITH THE NYC FIRE CODE.

DEMOLITION PROCEDURE

- SECURE SITE WITH CONSTRUCTION FENCES THAT MEET THE REQUIREMENTS OF SECTION BC 3307.7.
 - BEFORE COMMENCEMENT OF ACTUAL DEMOLITION, ALL AREAS SHALL BE THOROUGHLY CLEANED OF COMBUSTIBLE MATERIALS AND DEBRIS.
 - BEFORE COMMENCEMENT OF ACTUAL DEMOLITION, ALL GLASS IN WINDOWS, DOORS, SKYLIGHTS, FIXTURES, AND ALL OTHER NON-STRUCTURAL ELEMENTS SHALL BE REMOVED.
 - ALL FOUNDATION, WALL AND SLAB ON GRADE TO BE REMAINED AND UNDISTURBED.
- HAND HELD DEVICES ALLOWED FOR DEMOLITION:**
- CHAIN SAW/ CUTOFF SAWS/ CIRCULAR SAW
 - RECIPROCATING SAW
 - WRECKING BARS
 - CLAW HAMMERS
 - CHISELS (VARIOUS SIZES)
 - DEMOLITION HAMMER WITH GENERATOR/ PNEUMATIC HAMMER WITH COMPRESSOR
 - CHIPPING HAMMER/ CHIPPING GUNS

DEMOLITION DEBRIS NOTES

LIST OF DECONSTRUCTION MATERIALS - POTENTIAL APPLICATION FOR RECYCLING MATERIALS:

- ALUMINUM STRAPS, AND SHEET: RECYCLE AS A METAL
- ASPHALT: BREAK UP AND TRANSPORT ASPHALT-TO-ASPHALT RECYCLING FACILITY OR RECYCLING SITE.
- BRICK: CAN BE REUSED IF WHOLE, CRUSHED FOR USE AS LANDSCAPE COVER, SUB-BASE MATERIAL, OR FILL.
- BUILDING COMPONENT AND FIXTURES: WINDOWS, DOORS, CABINETS, HARDWARE, PLUMBING AND ELECTRICAL FIXTURES MAY BE SALVAGED. PORCELAIN BATH FIXTURES MAY BE CRUSHED FOR FILL.
- CARPET AND CARPET PAD: STORE CLEAN, DRY CARPET AND PAD IN A CLOSED CONTAINER OR TRAILER. CARPET MAY BE ABLE TO BE REUSED OR RECYCLED IF SUFFICIENT QUANTITIES ARE GENERATED.
- CEILING PANEL: IF SUFFICIENT QUANTITIES ARE GENERATED, SORT BY SIZE PALLETIZE, AND SHRINK-WRAP FOR SHIPMENT TO AND RECYCLING BY A CEILING TILE MANUFACTURER.
- CONCRETE: CAN BE CRUSHED AND GRADED FOR USE AS RIPRAP, AGGREGATE, SUB-BASE MATERIAL, OR FILL. NEUTRALIZE ALKALINITY IF PLANTING ABOVE. REMOVE.
- REINFORCEMENT AND OTHER METALS FROM CONCRETE AND SORT WITH OTHER METALS.
- COPPER PIPE AND ACCESSORIES: RECYCLE AS A METAL.
- CORRUGATED CARDBOARD AND PAPER: SEPARATE FOR RECYCLING INTO NEW PAPER PRODUCTS. PAINTED, WAXED OR MUDDY CARDBOARD OR PAPER IS UNSUITABLE FOR RECYCLING AND SHOULD BE DISCARDED.
- DIMENSIONAL LUMBER, ORIENTED STRAND BOARD, PLYWOOD, GRATES, AND PALLET: SORT LARGER PIECES FOR REUSE. WOOD UNSUITABLE FOR REUSE MAY BE USED TO MANUFACTURE PARTICLE BOARD AND OTHER COMPOSITE WOOD PRODUCTS. CHIP OR SHRED WOOD FOR USE AS ANIMAL BEDDING, LANDSCAPE USE, GROUND COVER, MULCH, COMPOST, PULP, OR PROCESS FUEL. DO NOT CHIP OR SHRED STAINED, PAINTED OR TREATED WOOD. SOME RECYCLERS HAVE EQUIPMENT TO REMOVE NAILS.
- DOORS AND HARDWARE: IF SEPARATED FOR REUSE, BRACE OPEN END OF DOOR FRAMES. EXCEPT FOR REMOVING DOOR CLOSURES, LEAVE DOOR HARDWARE ATTACHED TO DOORS.
- GLASS CONTAINERS: RECYCLE AS GLASS.
- GYPSON BOARD: GYPSON WALLBOARD TO BE PROCESS AND LAND SPREAD MUST BE NEAT AND CLEAN CONSTRUCTION SCRAP FREE OF TAPE, JOINT COMPOUNDS, PAINT, NAILS, SCREWS, OR OTHER CONTAMINANTS. ONLY REGULAR 1/2" DRYWALL, TYPE "X" DRYWALL, AND PLASTER BASE (STANDARD BLUE BOARD) MAY BE USED FOR A SOIL AMENDMENT. THE FOLLOWING PAPER-FACED GYPSON PANEL CAN NOT BE USED AS A SOIL AMENDMENT: MR (GREEN BOARD), SHEATHING (BROWN/BLACK BOARD), MOLD RESISTANT PANELS OR SPECIALTY TYPE "X". THESE CONTAIN ADDITIVES WHICH MAY NOT BE SUITABLE AS A SOIL AMENDMENT.

PARTITION LEGEND

- EXISTING BUILDING ELEMENTS TO REMAIN
- EXISTING BUILDING ELEMENTS TO BE REMOVED

SEQUENCE OF OPERATIONS

- SUPPORT ANY AND ALL STRUCTURAL / LOAD BEARING MEMBERS
- REPAIR / REMOVE EXTERIOR WALLS
- REMOVE AND REPLACE SUB-FLOOR AND FLOOR FRAMING

TENANT PROTECTION

A.C. 28-104.8.4

BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN OCCUPIED DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

REPAIR NOTES

SAFE SUPPORT OF LOADS
NEW FRAMING, INCLUDING ALL RELATED BRACES, SHORING, FRAMING AND AUXILIARY CONSTRUCTION, SHALL BE PROPORTIONED, ERECTED, SUPPORTED, BRACED AND MAINTAINED SO THAT IT WILL SAFELY SUPPORT ALL VERTICAL AND LATERAL LOADS THAT MIGHT BE APPLIED UNTIL SUCH LOADS CAN BE SUPPORTED BY THE PERMANENT CONSTRUCTION.

VERTICAL AND LATERAL LOADS
VERTICAL AND LATERAL LOADS SHALL BE CARRIED TO THE GROUND BY THE FRAMING AND REPAIR SYSTEM AND BY THE NEW FRAMING AFTER IT HAS ATTAINED ADEQUATE STRENGTH FOR THAT PURPOSE, OR BY EXISTING STRUCTURES, FRAMING AND NOGGS AND THEIR SUPPORTS SHALL BE DESIGNED SO AS NOT TO DAMAGE EXISTING OR NEWLY INSTALLED STRUCTURES.

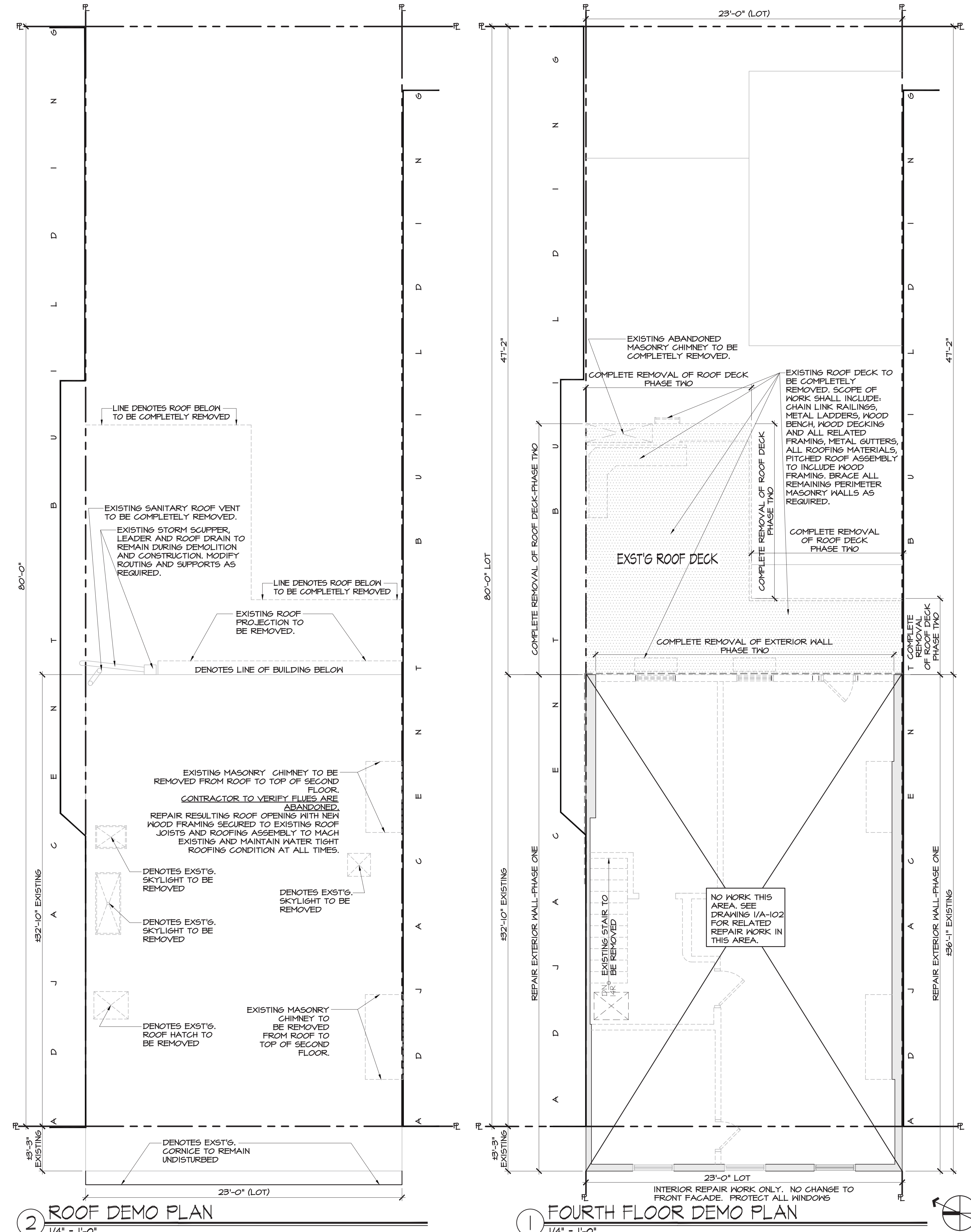
TEMPORARY BRACING
TEMPORARY BRACING SHALL BE PROVIDED TO SUPPORT ALL LOADS IMPOSED UPON THE FRAMEWORK DURING CONSTRUCTION THAT ARE IN EXCESS OF THOSE FOR WHICH THE FRAMEWORK WAS DESIGNED.

UNSAFE CONDITIONS
ANY UNSAFE CONDITION OR NECESSARY ADJUSTMENT REVEALED BY INSPECTION SHALL BE REMEDIED IMMEDIATELY. IF DURING CONSTRUCTION, ANY WEAKNESS DEVELOPS AND THE EXISTING BUILDING FRAMING SHOWS ANY UNDUE SETTLEMENT OR DISTORTION, THE WORK SHALL BE STOPPED, THE AFFECTED CONSTRUCTION REMOVED IF PERMANENTLY DAMAGED, AND THE BUILDING STRUCTURE BRACED AND SUPPORTED.

ADJOINING WALLS
MAINTAIN THE STRUCTURAL INTEGRITY OF SUCH WALLS AND ADJOINING STRUCTURE, AND HAVE A REGISTERED DESIGN PROFESSIONAL INVESTIGATE THE STABILITY AND DESIGN OF THE WALL AND ADJOINING STRUCTURE, AND TAKE ALL NECESSARY STEPS TO PROTECT SUCH WALL AND STRUCTURE.

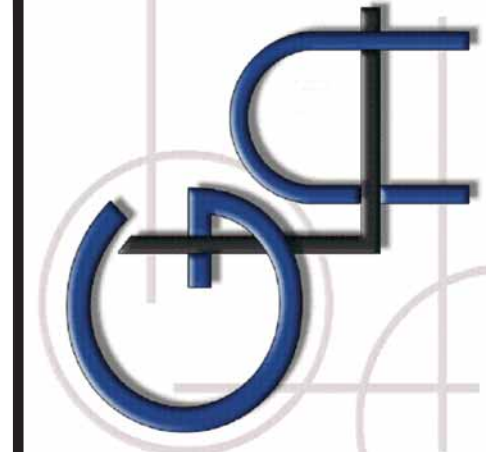
DEMOLITION DEBRIS NOTES CONTINUED

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2 ROOF DEMO PLAN
1/4" = 1'-0"

1 FOURTH FLOOR DEMO PLAN
1/4" = 1'-0"



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REV#	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR FILING
2	12-20-17	ISSUED FOR PHASE ONE SCOPE
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4	9-12-18	ISSUED FOR PHASE TWO SCOPE

PROJECT: 275 BLEEKER STREET
BLOCK NO. 590
LOT NO. 10
CLIENT: WHARTON REALTY
500 FIFTH AVENUE 54TH FLOOR
NEW YORK, NY 10010

DRAWING TITLE: PHASE TWO DEMO PLANS: FOURTH FLOOR & ROOF DEMO PLAN
SCALE: AS NOTED
SEAL AND SIGNATURE

STEVEN GAMBINO, R.A.
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DATE: 12/20/17	PROJECT NO.: GLA16-0447
DRAWN BY: NT	DESIGNED BY: NT
CHECKED BY: SG	SCALE: AS NOTED
DRAWING NO.: DM102.00	SHEET NO.: 10 OF 46



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GENERAL CONTRACTOR NOTES:

- CONTRACTOR SHALL PROVIDE PROTECTION OF ALL EXTERIOR BUILDING CONDITIONS ON ADJACENT PROPERTY PRIOR TO DEMOLITION AND DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR / OWNER SHALL OBTAIN ACCESS AGREEMENT FROM ADJACENT PROPERTY OWNER FOR ALL WORK NECESSARY BEYOND THE PROPERTY LINE OF THE PROJECT SITE.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEPARTMENT OF BUILDINGS OF ANY DAMAGE CAUSED TO THE ADJOINING PROPERTY DURING THE DEMOLITION OR CONSTRUCTION PROCESS.
- ANY AND ALL STRUCTURAL NETTING USED TO PROTECT THE ADJOINING PROPERTY SHALL COMPLY WITH ANSI A1011
- CONTRACTOR SHALL PROVIDE SHORING & BRACING TO EXISTING STRUCTURE DURING DEMOLITION. SEE STRUCTURAL DRAWINGS FOR EXTENT OF WORK.

ROOF DECK REMOVAL NOTE:
 EXISTING ROOF DECK TO BE COMPLETELY REMOVED. SCOPE OF WORK SHALL INCLUDE: CHAIN LINK RAILINGS, METAL LADDERS, WOOD BENCH, WOOD DECKING AND ALL RELATED FRAMING, METAL GUTTERS, ALL ROOFING MATERIALS, PITCHED ROOF ASSEMBLY TO INCLUDE WOOD FRAMING. BRACE ALL REMAINING PERIMETER MASONRY WALLS AS REQUIRED.

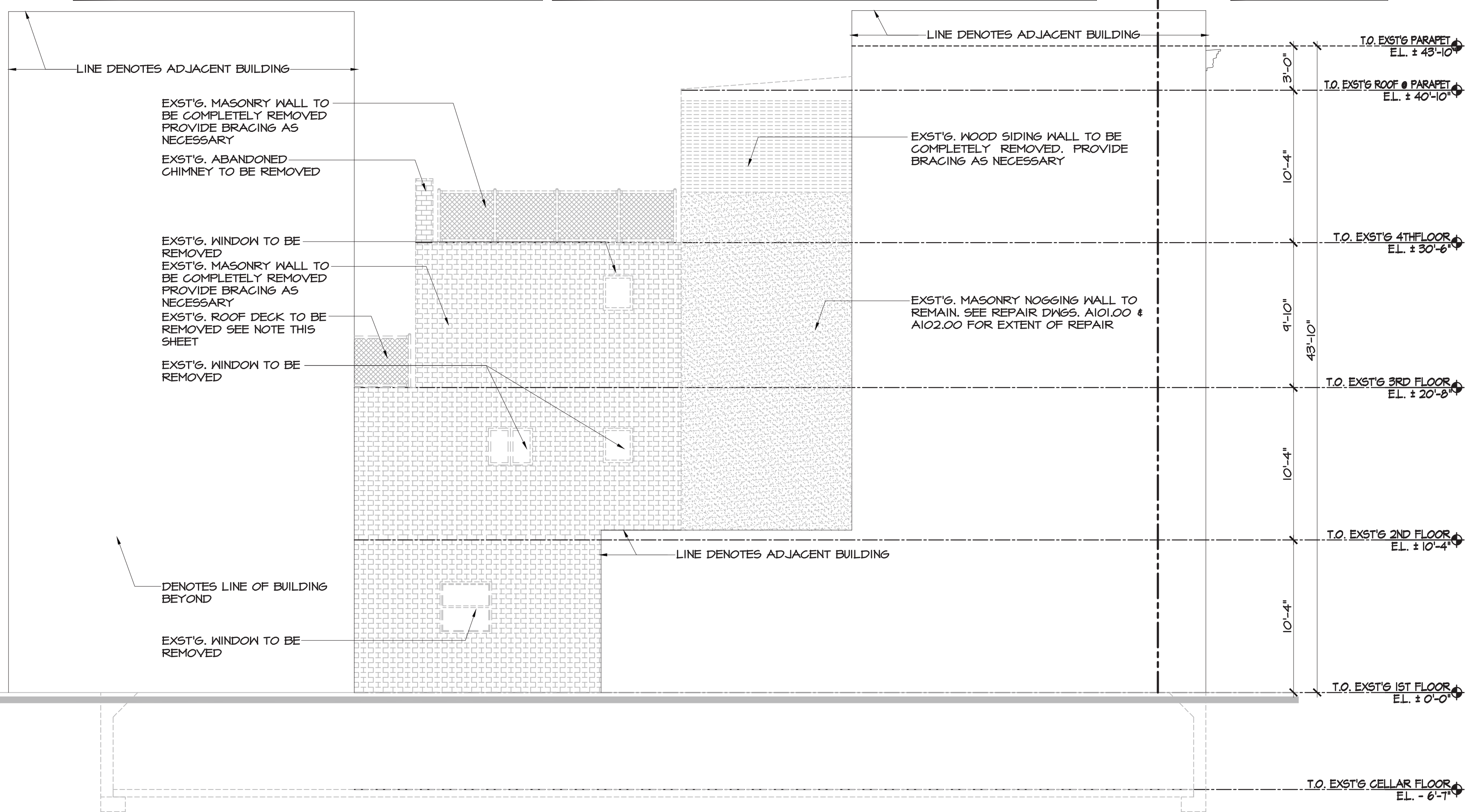
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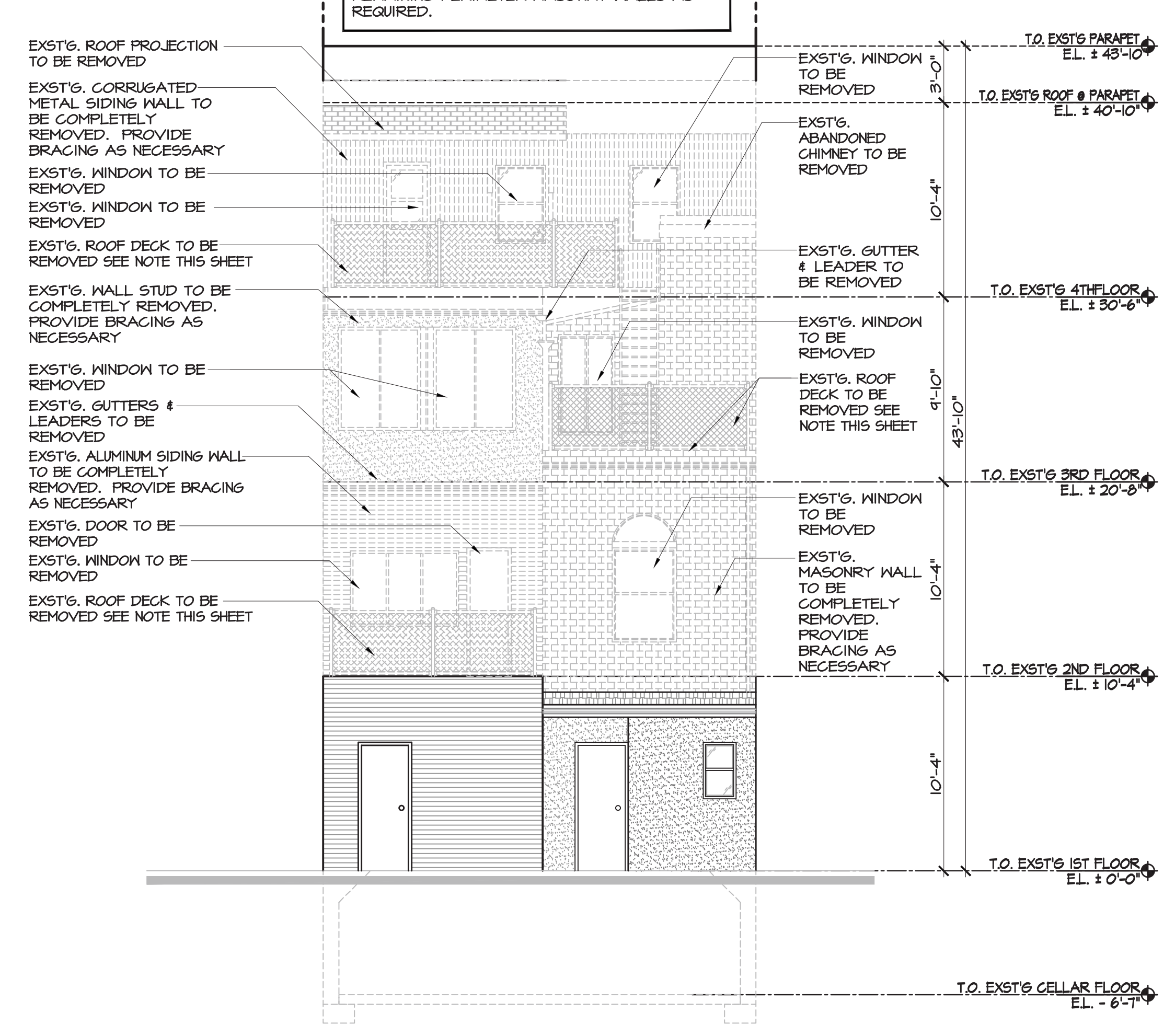
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PROVIDE PROTECTION FOR ALL WINDOWS ON ADJOINING PRIVATE PROPERTY THAT ARE 20 FEET OR LESS FROM AN UNENCLOSED PERIMETER. WHERE SAID WINDOW PROVIDES REQUIRED MEANS OF LIGHTING, VENTILATION OR EGRESS, SUCH PROTECTION SHALL NOT BE ALLOWED TO INTERFERE WITH SUCH REQUIRED MEANS.

NO CHANGE TO FRONT FACADE. PROTECT ALL WINDOWS



2 SIDE ELEVATION
 SCALE: 3/16" = 1'-0"
 (NORTH ELEVATION)



1 REAR ELEVATION
 SCALE: 3/16" = 1'-0"
 (EAST ELEVATION)

REVISION	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR PERMITS
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3	2-7-18	ISSUED FOR PAA
4	9-12-18	ISSUED FOR PHASE TWO SCOPE

PROJECT: 275 BLEECKER STREET
 275 BLEECKER STREET
 NEW YORK, NY 10014

CLIENT: WHARTON REALTY
 500 FIFTH AVENUE, 54TH FLOOR
 NEW YORK, NY 10010

PHASE TWO DEMOLITION ELEVATIONS:
 NORTH & EAST

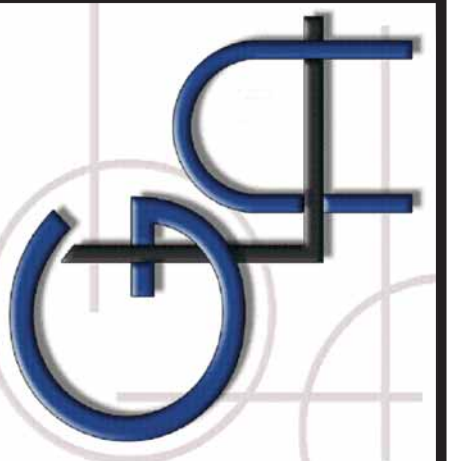
SCALE: AS NOTED

SEAL AND SIGNATURE

STEVEN GAMBINO, RA

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DATE: 12/27/17 PROJECT NO: GLA16-0447
 DRAWN BY: MT DESIGNER NO:
 CHECKED BY: 56
 DRAWING NO: DM200.00
 SHEET NO: 11 OF 46



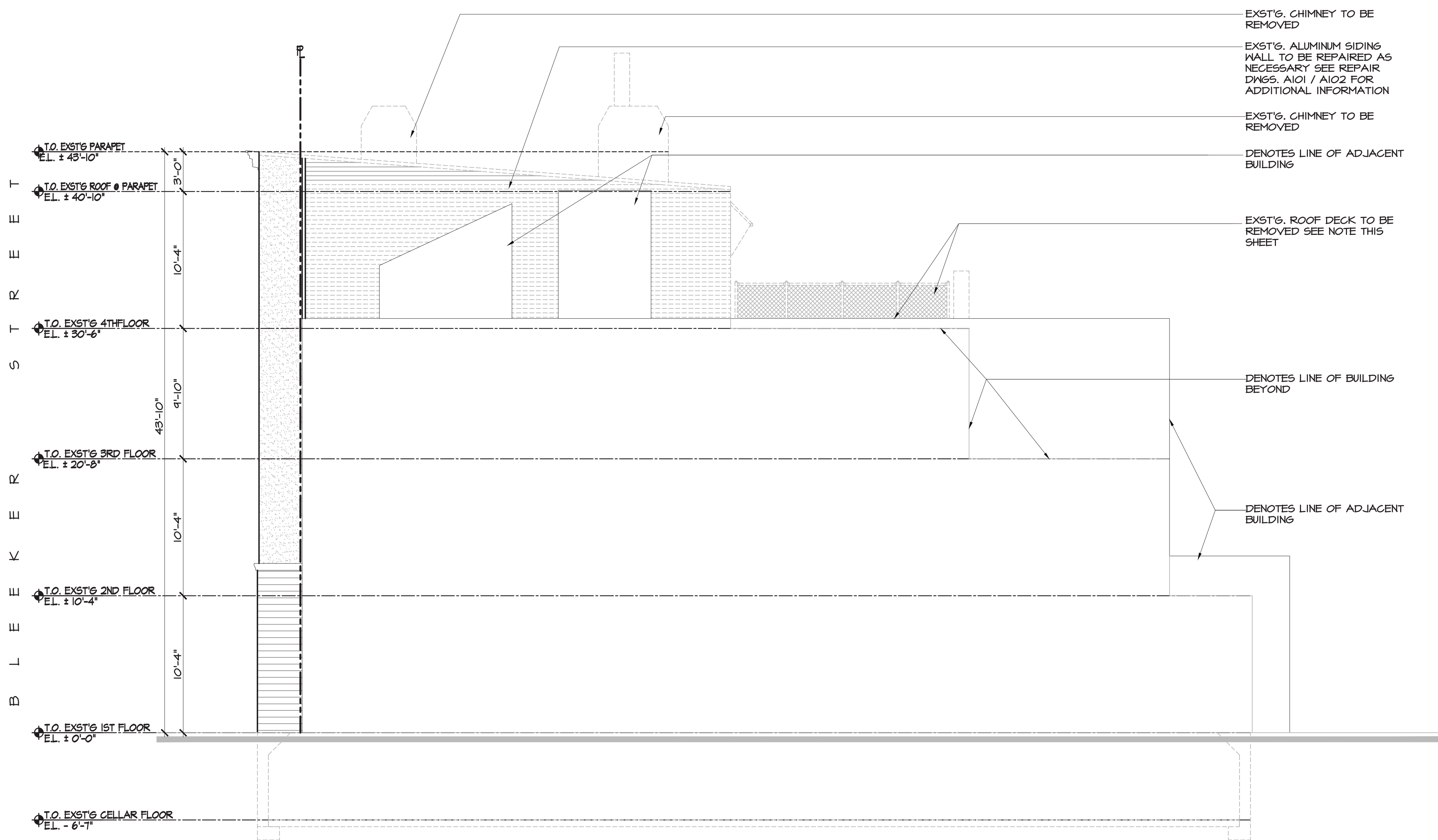
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NO CHANGE TO FRONT FACADE. PROTECT ALL WINDOWS

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1 SIDE ELEVATION
 SCALE: 3/16" = 1'-0"
 (SOUTH ELEVATION)

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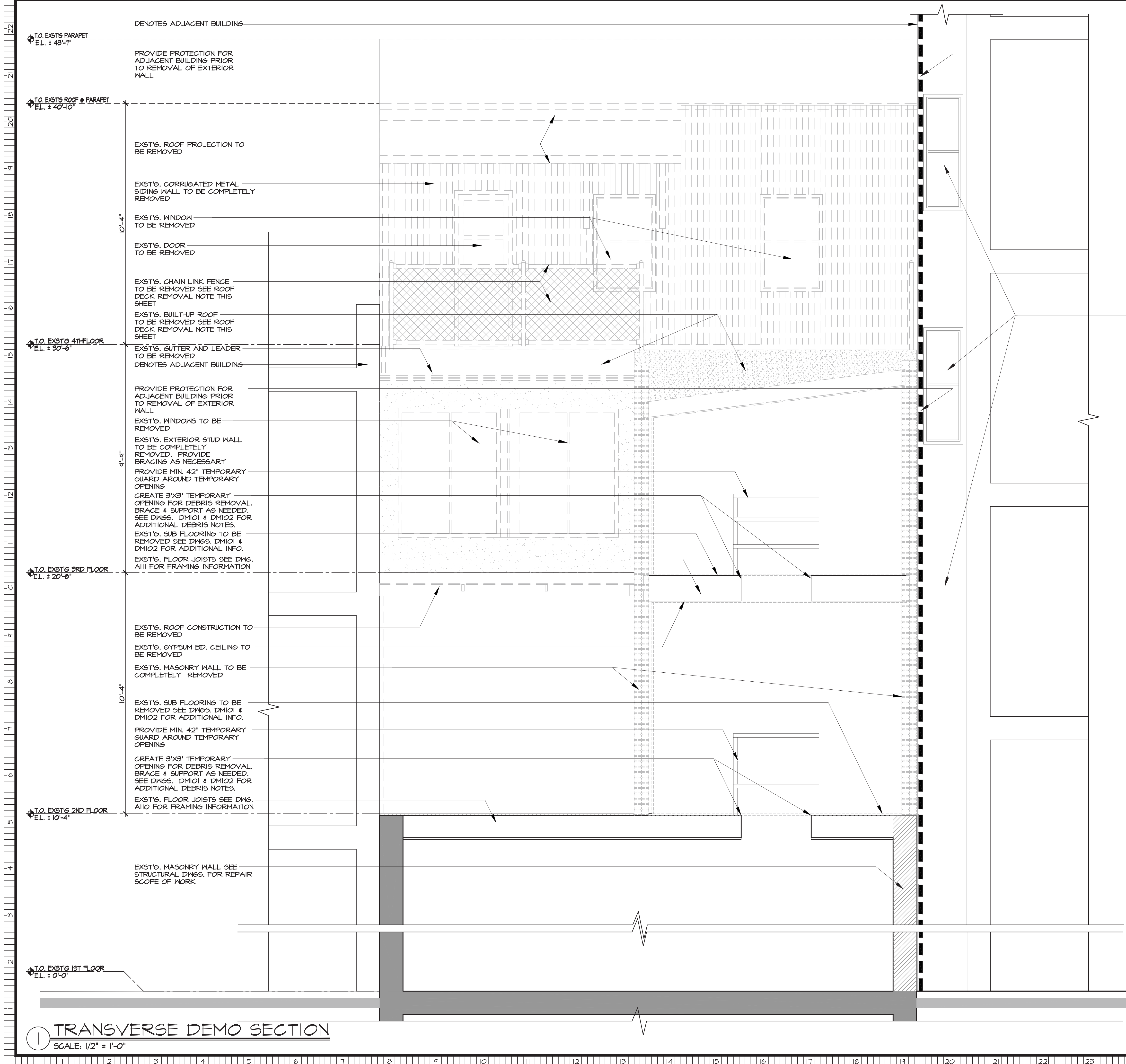
PROJECT:	275 BLEEKER STREET
CLIENT:	WHARTON REALTY
BLOCK NO.:	590
LOT NO.:	10
ADDRESS:	275 BLEEKER STREET NEW YORK, NY 10014
CLIENT ADDRESS:	500 FIFTH AVENUE, 54TH FLOOR NEW YORK, NY 10110

DRAWING TITLE:
 PHASE TWO
 DEMOLITION ELEVATIONS:
 NORTH & EAST
 SCALE: AS NOTED

SEAL AND SIGNATURE
 STEVEN GAMBINO, R.A.

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DATE:	PROJECT NO.:
12-MAR-18	GLA16-0447
DRAWN BY:	DESCRIPTION:
MT	
CHECKED BY:	
SG	
DRAWING NO.:	
DM201.00	
SHEET NO.:	12 OF 46



TENANT PROTECTION

A.C. 28-104.8.4
 BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN OCCUPIED DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

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PROJECT: 275 BLEECKER STREET
 275 BLEECKER STREET
 NEW YORK, NY 10014

CLIENT: WHARTON REALTY
 500 FIFTH AVENUE, 54TH FLOOR
 NEW YORK, NY 10110

DRAWING TITLE: PHASE TWO DEMOLITION ELEVATIONS: NORTH & EAST

SCALE: AS NOTED

SEAL AND SIGNATURE:

STEVEN GAMBINO, R.A.

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DATE: 12MARI18	PROJECT NO: GLA16-0447
DRAWN BY: MT	DESIGNED BY:
CHECKED BY: 56	
DRAWING NO: DM201.00	
SHEET NO: 13	OF 46

1 TRANSVERSE DEMO SECTION
 SCALE: 1/2" = 1'-0"

TENANT PROTECTION

A.C. 28-104.8.4
 BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN OCCUPIED DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

REPAIR NOTES

SAFE SUPPORT OF LOADS
 NEW FRAMING, INCLUDING ALL RELATED BRACES, SHORING, FRAMING AND AUXILIARY CONSTRUCTION, SHALL BE PROPORTIONED, ERECTED, SUPPORTED, BRACED AND MAINTAINED SO THAT IT WILL SAFELY SUPPORT ALL VERTICAL AND LATERAL LOADS THAT MIGHT BE APPLIED UNTIL SUCH LOADS CAN BE SUPPORTED BY THE PERMANENT CONSTRUCTION.

VERTICAL AND LATERAL LOADS
 VERTICAL AND LATERAL LOADS SHALL BE CARRIED TO THE GROUND BY THE FRAMING AND REPAIR SYSTEM AND BY THE NEW FRAMING AFTER IT HAS ATTAINED ADEQUATE STRENGTH FOR THAT PURPOSE, OR BY EXISTING STRUCTURES, FRAMING AND NOGGING AND THEIR SUPPORTS SHALL BE DESIGNED SO AS NOT TO DAMAGE EXISTING OR NEWLY INSTALLED STRUCTURES.

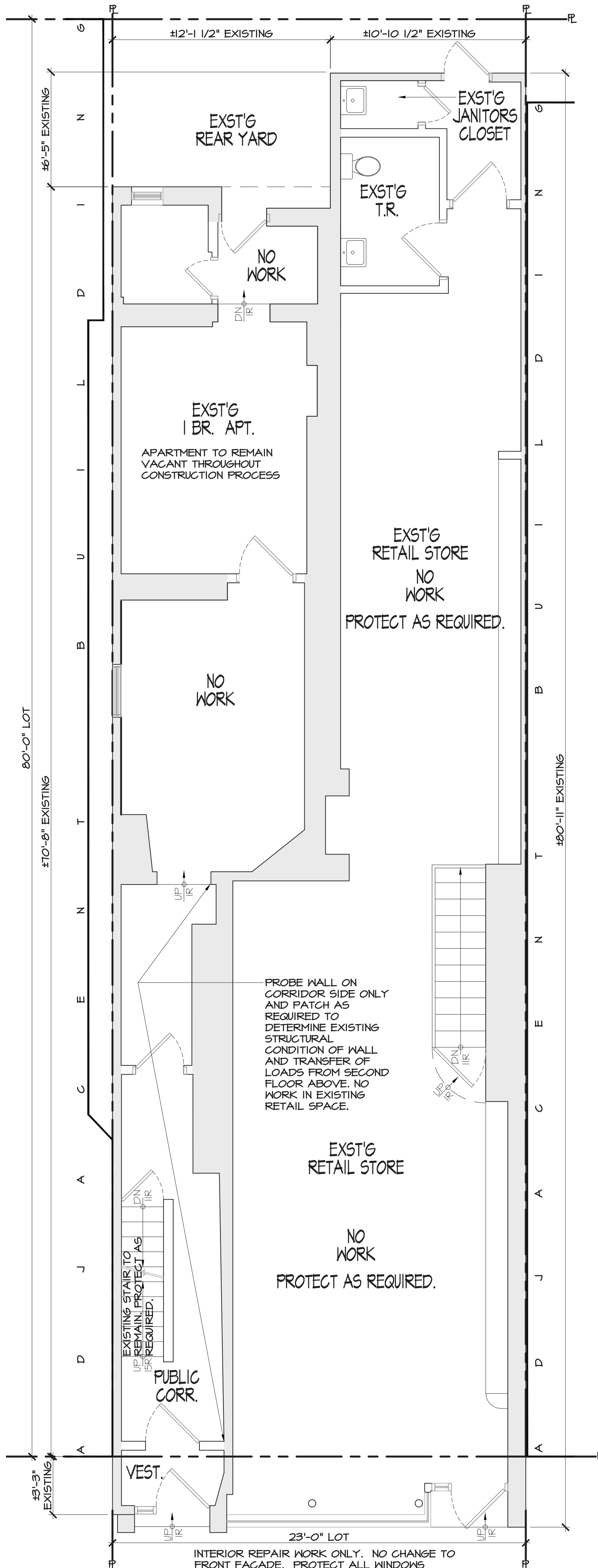
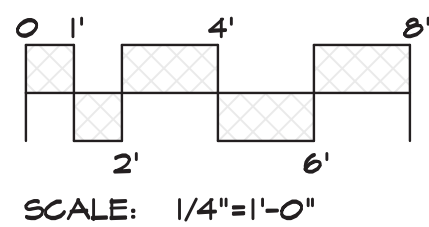
TEMPORARY BRACING
 TEMPORARY BRACING SHALL BE PROVIDED TO SUPPORT ALL LOADS IMPOSED UPON THE FRAMEWORK DURING CONSTRUCTION THAT ARE IN EXCESS OF THOSE FOR WHICH THE FRAMEWORK WAS DESIGNED.

UNSAFE CONDITIONS
 ANY UNSAFE CONDITION OR NECESSARY ADJUSTMENT REVEALED BY INSPECTION SHALL BE REMEDIATED IMMEDIATELY. IF DURING CONSTRUCTION, ANY WEAKNESS DEVELOPS AND THE EXISTING BUILDING FRAMING SHOWS ANY UNDUE SETTLEMENT OR DISTORTION, THE WORK SHALL BE STOPPED, THE AFFECTED CONSTRUCTION REMOVED IF PERMANENTLY DAMAGED, AND THE BUILDING STRUCTURE BRACED AND SUPPORTED.

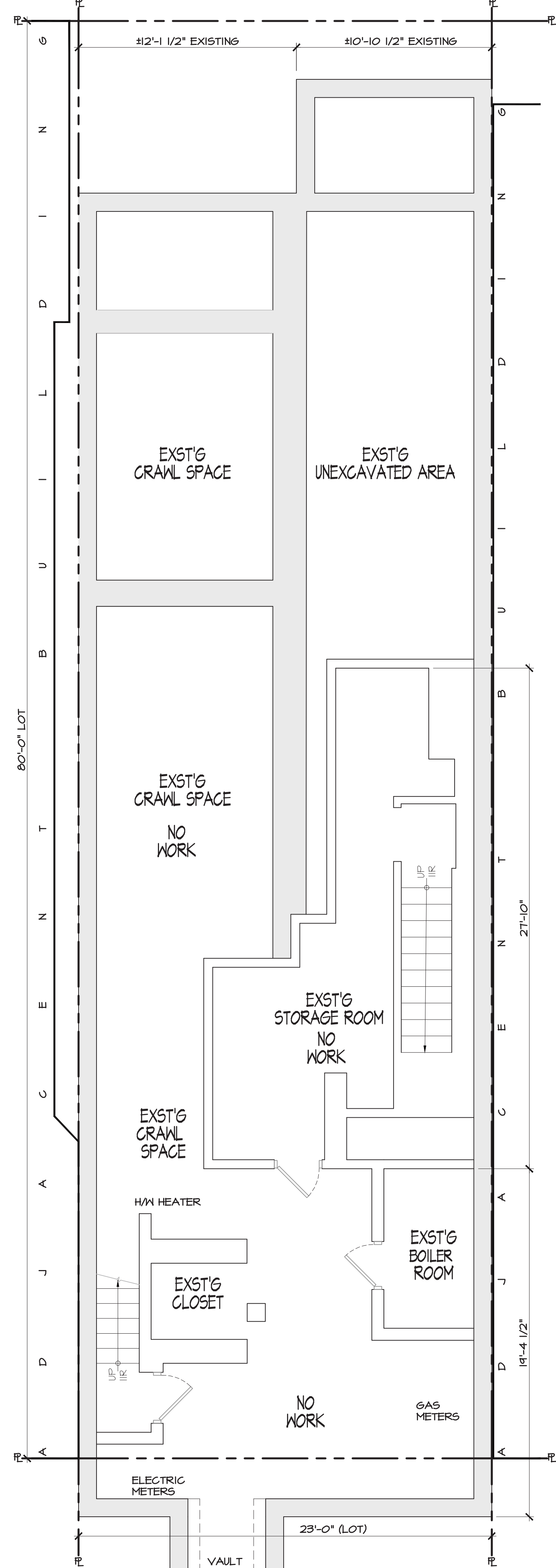
ADJOINING WALLS
 MAINTAIN THE STRUCTURAL INTEGRITY OF SUCH WALLS AND ADJOINING STRUCTURE, AND HAVE A REGISTERED DESIGN PROFESSIONAL INVESTIGATE THE STABILITY AND CONDITION OF THE WALL AND ADJOINING STRUCTURE, AND TAKE ALL NECESSARY STEPS TO PROTECT SUCH WALL AND STRUCTURE.

SEQUENCE OF OPERATIONS

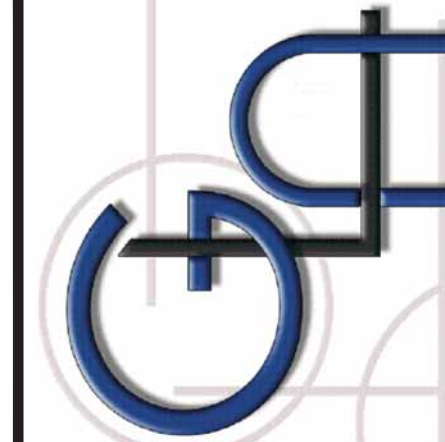
1. SUPPORT ANY AND ALL STRUCTURAL / LOAD BEARING MEMBERS
2. REPAIR / REMOVE EXTERIOR WALLS
3. REMOVE AND REPLACE SUB-FLOOR AND FLOOR FRAMING



② FIRST FLOOR PLAN
 1/4" = 1'-0" (NO WORK @ FIRST FLR.)



① CELLAR FLOOR PLAN
 1/4" = 1'-0" (NO WORK @ CELLAR FLR.)



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 WWW.GL-ARCH.COM

REV.	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR FILING
2	12-20-17	ISSUED FOR PHASE ONE SCOPE
3	2-1-18	ISSUED FOR PMA
4	8-12-18	ISSUED FOR PHASE TWO SCOPE

PROJECT TITLE:
 215 BLEEKER STREET
 BLOCK NO. 540
 LOT NO. 10
 NEW YORK, NY 10014

CLIENT:
 WHARTON REALTY
 500 FIFTH AVENUE, 84TH FLOOR
 NEW YORK, NY 10010

DRAWING TITLE:
 CELLAR FLOOR #
 FIRST FLOOR PLAN
 SCALE: AS NOTED

SEAL AND SIGNATURE:

STEVEN GAMBINO, R.A.
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DATE: 12MARIØ
PROJECT NO.: GLA16-0441
DRAWN BY: MT
REVISION NO.: A
CHECKED BY: SG
DRAWING NO.: A100.00
SHEET NO.: 14 OF 46

TENANT PROTECTION

A.C. 28-104.2.4

BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN OCCUPIED DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

REPAIR NOTES

SAFE SUPPORT OF LOADS

NEW FRAMING, INCLUDING ALL RELATED BRACES, SHORING, FRAMING AND AUXILIARY CONSTRUCTION, SHALL BE PROPORTIONED, ERECTED, SUPPORTED, BRACED AND MAINTAINED SO THAT IT WILL SAFELY SUPPORT ALL VERTICAL AND LATERAL LOADS THAT MIGHT BE APPLIED UNTIL SUCH LOADS CAN BE SUPPORTED BY THE PERMANENT CONSTRUCTION.

VERTICAL AND LATERAL LOADS

VERTICAL AND LATERAL LOADS SHALL BE CARRIED TO THE GROUND BY THE FRAMING AND REPAIR SYSTEM AND BY THE NEW FRAMING AFTER IT HAS ATTAINED ADEQUATE STRENGTH FOR THAT PURPOSE, OR BY EXISTING STRUCTURES, FRAMING AND NOGGING AND THEIR SUPPORTS SHALL BE DESIGNED SO AS NOT TO DAMAGE EXISTING OR NEWLY INSTALLED STRUCTURES.

TEMPORARY BRACING

TEMPORARY BRACING SHALL BE PROVIDED TO SUPPORT ALL LOADS IMPOSED UPON THE FRAMEWORK DURING CONSTRUCTION THAT ARE IN EXCESS OF THOSE FOR WHICH THE FRAMEWORK WAS DESIGNED.

UNSAFE CONDITIONS

ANY UNSAFE CONDITION OR NECESSARY ADJUSTMENT REVEALED BY INSPECTION SHALL BE REMEDIATED IMMEDIATELY IF DURING CONSTRUCTION, ANY WEAKNESS DEVELOPS AND THE EXISTING BUILDING FRAMING SHOWS ANY UNDE SETTLEMENT OR DISTORTION, THE WORK SHALL BE STOPPED, THE AFFECTED CONSTRUCTION REMOVED IF PERMANENTLY DAMAGED, AND THE BUILDING STRUCTURE BRACED AND SUPPORTED.

ADJOINING WALLS

MAINTAIN THE STRUCTURAL INTEGRITY OF SUCH WALLS AND ADJOINING STRUCTURE, AND HAVE A REGISTERED DESIGN PROFESSIONAL INVESTIGATE THE STABILITY AND CONDITION OF THE WALL AND ADJOINING STRUCTURE, AND TAKE ALL NECESSARY STEPS TO PROTECT SUCH WALL AND STRUCTURE.

SEQUENCE OF OPERATIONS

1. SUPPORT ANY AND ALL STRUCTURAL / LOAD BEARING MEMBERS
2. REPAIR / REMOVE EXTERIOR WALLS
3. REMOVE AND REPLACE SUB-FLOOR AND FLOOR FRAMING

LEGEND

TEMPORARY BRACING:

2"x4" MD. FRAME, TOP & BOTTOM PLATE, STUDS @ 16" o/c FROM TOP OF SUB-FLOOR TO EXISTING JOIST ABOVE, SHIM AS REQ'D.

EXISTING WOOD FRAMING TO BE REMOVED TO ACCOMMODATE INSTALLATION OF NEW FRAMING.

NEW WALL FRAMING "TYPE A".

NEW WALL FRAMING "TYPE B".

EXISTING WOOD FRAMED WALLS WITH MASONRY NOGGING TO BE REPAIRED AND/OR EXISTING FRAMING TO REMAIN.

TAG INDICATES REPAIR DETAILS AS FOLLOWS:

TAG "A": DRAWINGS 1-2/A-610

TAG "B": DRAWINGS 1-2/A-611

TAG "C": DRAWINGS 1-2/A-612

TAG "D": DRAWINGS 1-2/A-613

TAG "E": DRAWINGS 1-2/A-614

TAG "F": DRAWINGS 1-2/A-615

TAG "G": DRAWINGS 1-2/A-616

TAG "H": DRAWINGS 1-2/A-617

TAG "I": DRAWINGS 1-2/A-618

TAG "J": DRAWINGS 1-2/A-619

DENOTES ROOF DRAIN LOCATION. ALL PLUMBING WORK ASSOCIATED WITH ROOF DRAINS TO BE FILED UNDER SEPARATE APPLICATION.

REPAIR EXTERIOR WALL - PHASE TWO

REMOVE EXISTING PLASTER AND EXPOSE WALL STRUCTURE

EXISTING STAIR LANDING TO BE REMOVED

EXISTING STAIR TO BE REMOVED

EXISTING MASONRY CHIMNEY & FIREPLACE TO BE REMOVED FROM ROOF TO TOP OF SECOND FLOOR. CONTRACTOR TO VERIFY FLUES ARE ABANDONED.

DENOTES EXISTING FRAMING ABOVE. TEMPORARY BRACING SEE NOTE THIS SHEET

EXISTING SUB-FLOOR PLANKING TO BE REMOVED AS REQUIRED TO INSTALL NEW FLOOR FRAMING.

EXISTING MASONRY CHIMNEY & FIREPLACE TO BE REMOVED FROM ROOF TO TOP OF SECOND FLOOR.

DENOTES TEMPORARY BRACING SEE NOTE THIS SHEET

REPAIR EXTERIOR WALL - PHASE ONE

REMOVE EXISTING PLASTER AND EXPOSE WALL STRUCTURE

EXISTING STAIR LANDING TO BE REMOVED

EXISTING STAIR TO BE REMOVED

EXISTING MASONRY CHIMNEY & FIREPLACE TO BE REMOVED FROM ROOF TO TOP OF SECOND FLOOR. CONTRACTOR TO VERIFY FLUES ARE ABANDONED.

DENOTES EXISTING FRAMING ABOVE. TEMPORARY BRACING SEE NOTE THIS SHEET

EXISTING SUB-FLOOR PLANKING TO BE REMOVED AS REQUIRED TO INVESTIGATE STRUCTURAL CONDITIONS

EXISTING MASONRY CHIMNEY & FIREPLACE TO BE REMOVED FROM ROOF TO TOP OF SECOND FLOOR.

DENOTES TEMPORARY BRACING SEE NOTE THIS SHEET

REPAIR EXTERIOR WALL - PHASE TWO

REMOVE EXISTING PLASTER AND EXPOSE WALL STRUCTURE

EXISTING STAIR LANDING TO BE REMOVED

EXISTING STAIR TO BE REMOVED

EXISTING MASONRY CHIMNEY & FIREPLACE TO BE REMOVED FROM ROOF TO TOP OF SECOND FLOOR. CONTRACTOR TO VERIFY FLUES ARE ABANDONED.

DENOTES EXISTING FRAMING ABOVE. TEMPORARY BRACING SEE NOTE THIS SHEET

EXISTING SUB-FLOOR PLANKING TO BE REMOVED AS REQUIRED TO INVESTIGATE STRUCTURAL CONDITIONS

EXISTING MASONRY CHIMNEY & FIREPLACE TO BE REMOVED FROM ROOF TO TOP OF SECOND FLOOR.

DENOTES TEMPORARY BRACING SEE NOTE THIS SHEET

REPAIR EXTERIOR WALL - PHASE ONE

REMOVE EXISTING PLASTER AND EXPOSE WALL STRUCTURE

EXISTING STAIR LANDING TO BE REMOVED

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DENOTES EXISTING FRAMING ABOVE. TEMPORARY BRACING SEE NOTE THIS SHEET

EXISTING SUB-FLOOR PLANKING TO BE REMOVED AS REQUIRED TO INVESTIGATE STRUCTURAL CONDITIONS

EXISTING MASONRY CHIMNEY & FIREPLACE TO BE REMOVED FROM ROOF TO TOP OF SECOND FLOOR.

DENOTES TEMPORARY BRACING SEE NOTE THIS SHEET

REPAIR EXTERIOR WALL - PHASE TWO

REMOVE EXISTING PLASTER AND EXPOSE WALL STRUCTURE

EXISTING STAIR LANDING TO BE REMOVED

EXISTING STAIR TO BE REMOVED

EXISTING MASONRY CHIMNEY & FIREPLACE TO BE REMOVED FROM ROOF TO TOP OF SECOND FLOOR. CONTRACTOR TO VERIFY FLUES ARE ABANDONED.

DENOTES EXISTING FRAMING ABOVE. TEMPORARY BRACING SEE NOTE THIS SHEET

EXISTING SUB-FLOOR PLANKING TO BE REMOVED AS REQUIRED TO INVESTIGATE STRUCTURAL CONDITIONS

EXISTING MASONRY CHIMNEY & FIREPLACE TO BE REMOVED FROM ROOF TO TOP OF SECOND FLOOR.

DENOTES TEMPORARY BRACING SEE NOTE THIS SHEET

REPAIR EXTERIOR WALL - PHASE ONE

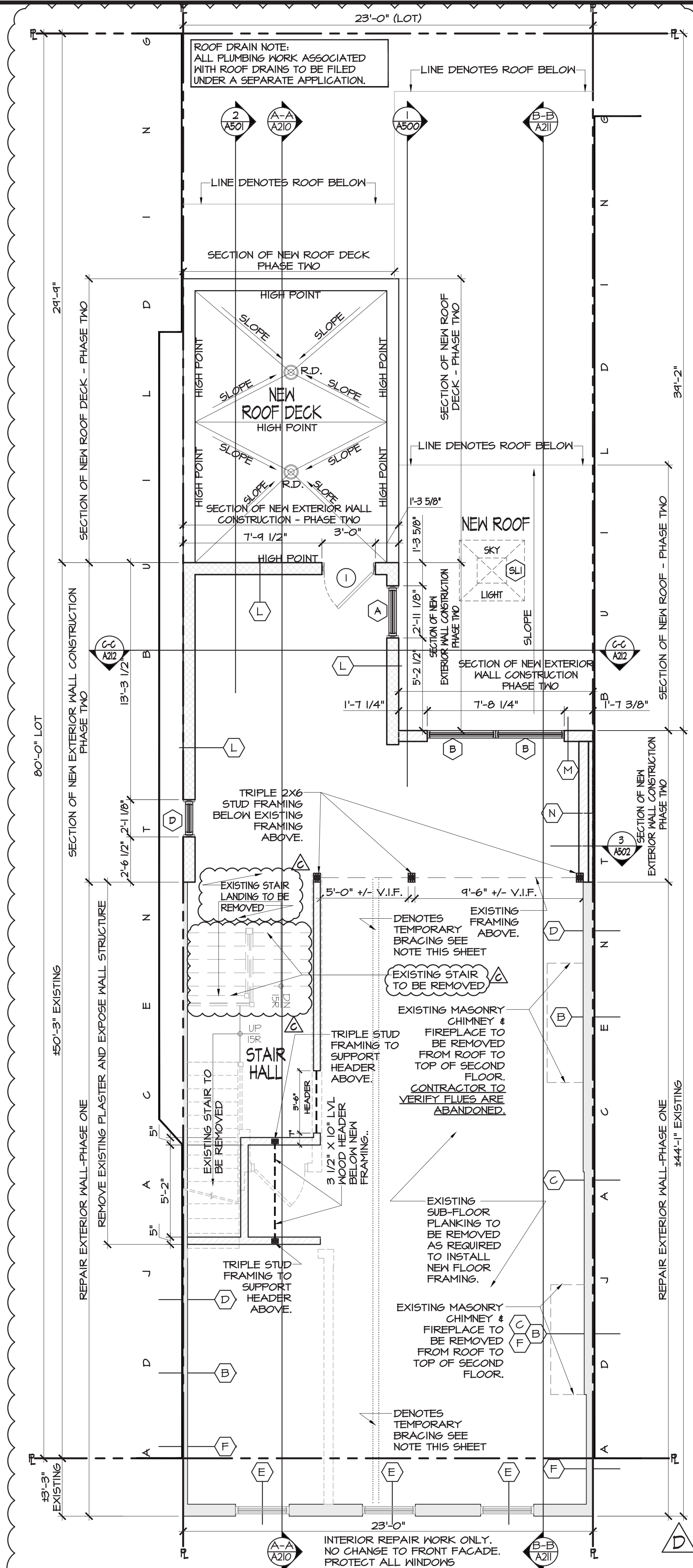
REMOVE EXISTING PLASTER AND EXPOSE WALL STRUCTURE

EXISTING STAIR LANDING TO BE REMOVED

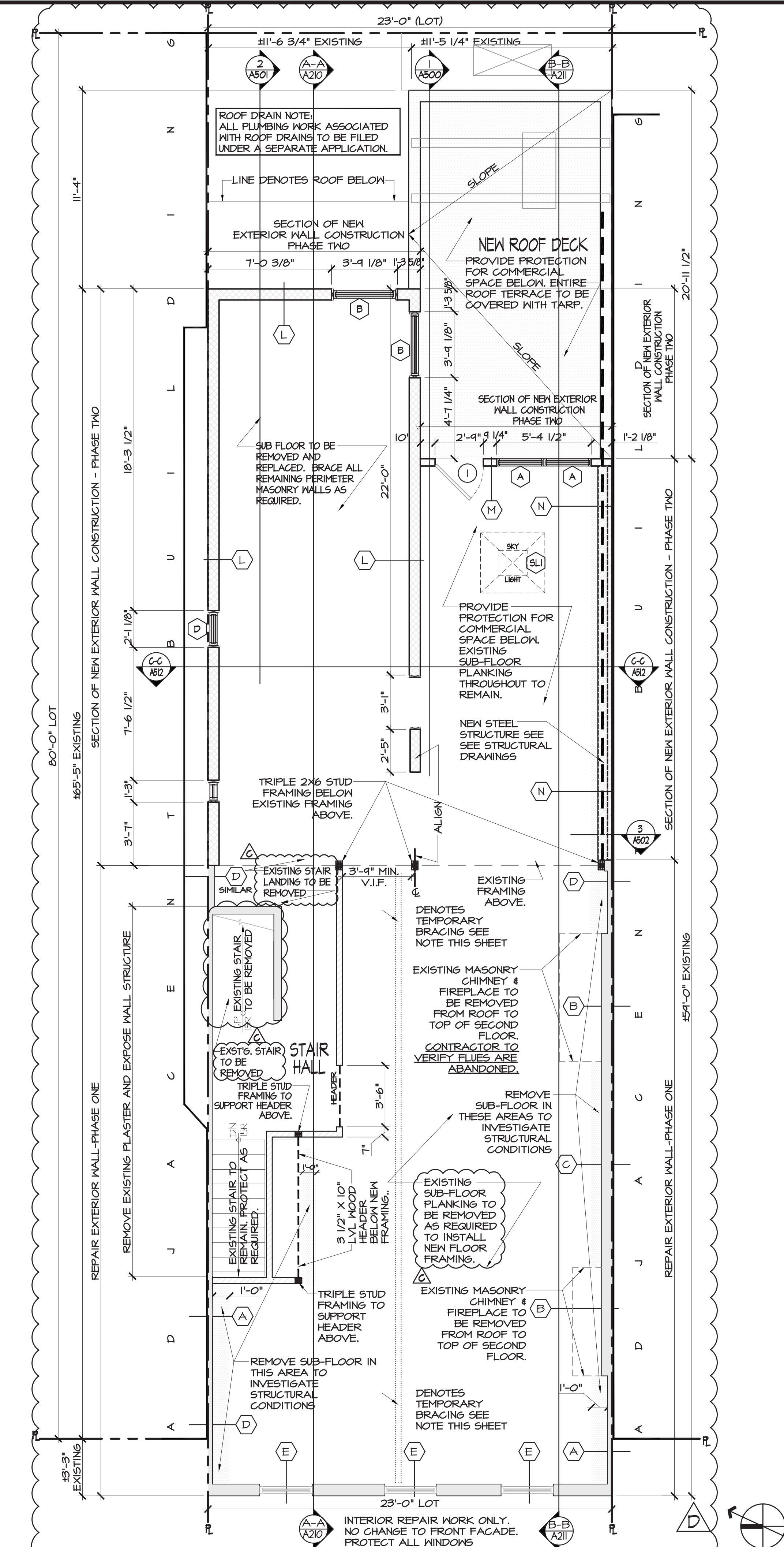
EXISTING STAIR TO BE REMOVED

EXISTING MASONRY CHIMNEY & FIREPLACE TO BE REMOVED FROM ROOF TO TOP OF SECOND FLOOR. CONTRACTOR TO VERIFY FLUES ARE ABANDONED.

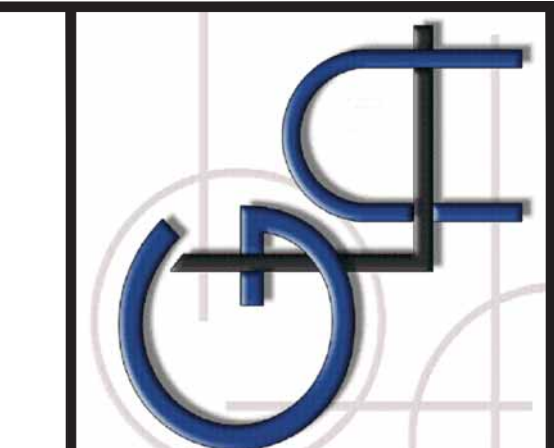
DENOTES EXISTING FRAMING ABOVE. TEMPORARY BRACING SEE NOTE THIS SHEET



THIRD FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"



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W W W . G L A . A R C H . C O M

REV. NO.	DATE	DESCRIPTION
1	12-21-17	ISSUED FOR FILING
2	12-20-17	ISSUED FOR PHASE ONE SCOPE
3	2-7-18	ISSUED FOR PHASE TWO SCOPE
4	3-12-18	ISSUED FOR PHASE TWO SCOPE

PROJECT TITLE: 275 BLEEKER STREET
BLOCK NO. 540
LOT NO. 10
NEW YORK, NY 10014

CLIENT: WHARTON REALTY
500 FIFTH AVENUE, 54TH FLOOR
NEW YORK, NY 10110

PHASE TWO
SECOND FLOOR & THIRD FLOOR PLAN
SCALE: AS NOTED

SEAL AND SIGNATURE

STEVEN GAMBINO, RA
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DATE: 12MAR18 PROJECT NO.: GLA16-0447
DRAWN BY: MT REVISION NO.:
CHECKED BY: MT
SCALE: 1/4" = 1'-0"
DRAWING NO.: A101.03
SHEET NO.: 15 OF 46

TENANT PROTECTION

A.C. 28-104.8.4
BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

REPAIR NOTES

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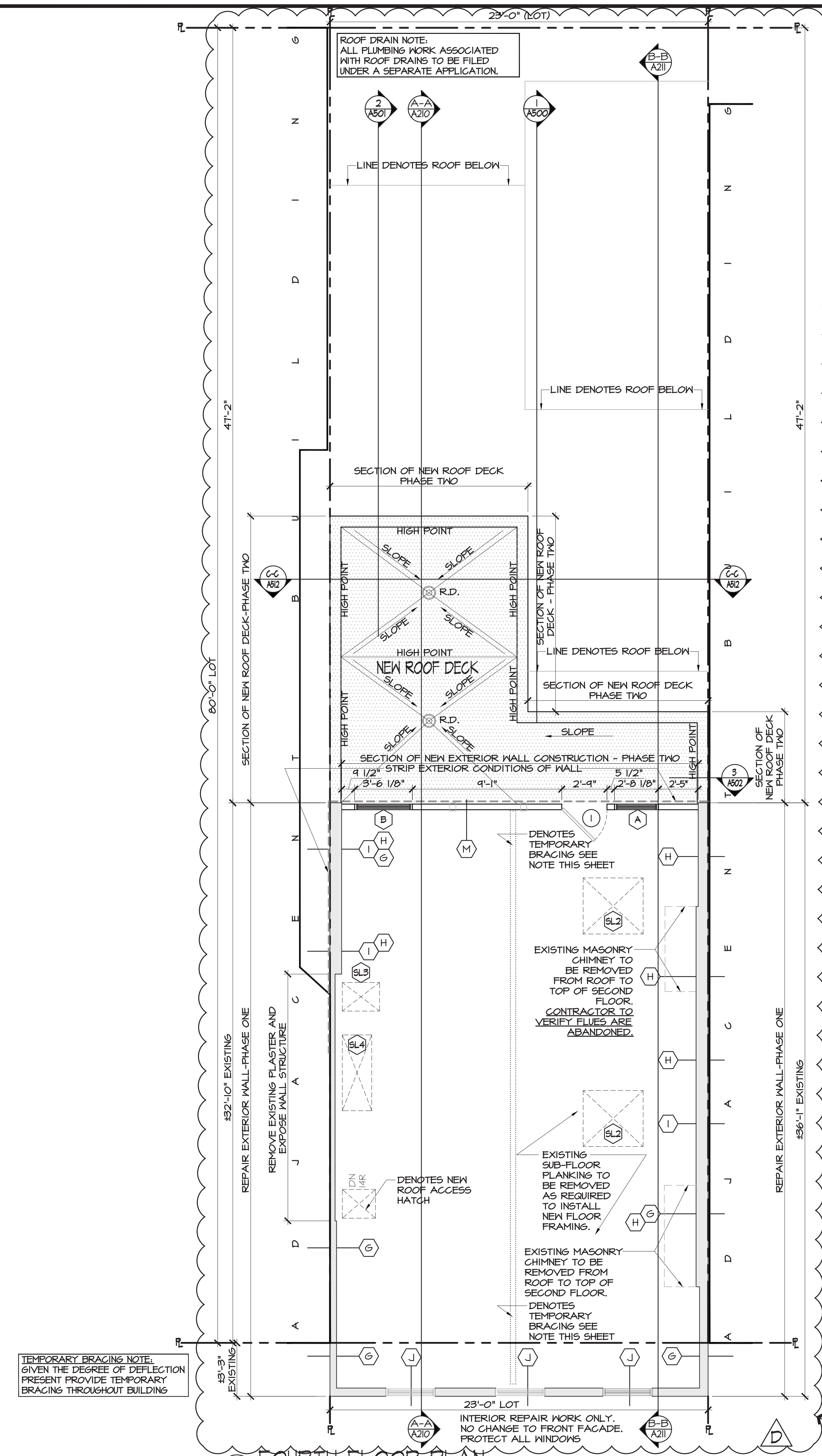
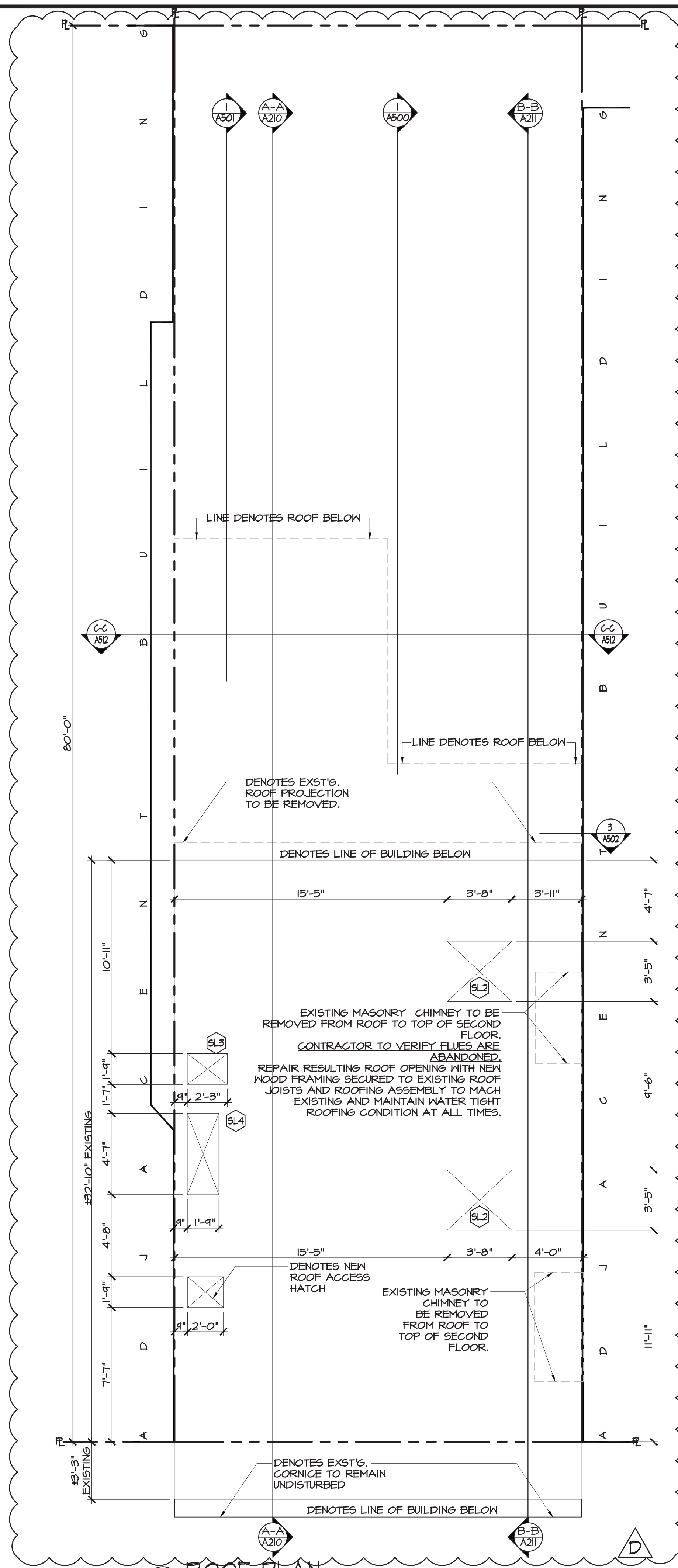
ADJOINING WALLS
MAINTAIN THE STRUCTURAL INTEGRITY OF SUCH WALLS AND ADJOINING STRUCTURE, AND HAVE A REGISTERED DESIGN PROFESSIONAL INVESTIGATE THE STABILITY AND CONDITION OF THE WALL AND ADJOINING STRUCTURE, AND TAKE ALL NECESSARY STEPS TO PROTECT SUCH WALL AND STRUCTURE.

SEQUENCE OF OPERATIONS

1. SUPPORT ANY AND ALL STRUCTURAL / LOAD BEARING MEMBERS
2. REPAIR / REMOVE EXTERIOR WALLS
3. REMOVE AND REPLACE SUB-FLOOR AND FLOOR FRAMING

LEGEND

TEMPORARY BRACING: 2"x4" WD. FRAME, TOP & BOTTOM PLATE, STUDS @ 16" o/c FROM TOP OF SUB-FLOOR TO EXISTING JOIST ABOVE, SHIM AS REQ'D.	
EXISTING WOOD FRAMING TO BE REMOVED TO ACCOMMODATE INSTALLATION OF NEW FRAMING.	
NEW WALL FRAMING "TYPE A". SEE DETAIL THIS SHEET	
NEW WALL FRAMING "TYPE B". SEE DETAIL THIS SHEET	
EXISTING WOOD FRAMED WALLS WITH MASONRY NOGGING TO BE REPAIRED AND/OR EXISTING FRAMING TO REMAIN.	
TAG INDICATES REPAIR DETAILS AS FOLLOWS: TAG "A": DRAWINGS 1-2/A-610 TAG "B": DRAWINGS 1-2/A-611 TAG "C": DRAWINGS 1-2/A-612 TAG "D": DRAWINGS 1-2/A-613 TAG "E": DRAWINGS 1-2/A-614 TAG "F": DRAWINGS 1-2/A-615 TAG "G": DRAWINGS 1-2/A-616 TAG "H": DRAWINGS 1-2/A-617 TAG "I": DRAWINGS 1-2/A-618 TAG "J": DRAWINGS 1-2/A-619	
DENOTES ROOF DRAIN LOCATION. ALL PLUMBING WORK ASSOCIATED WITH ROOF DRAINS TO BE FILED UNDER SEPARATE APPLICATION	



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PHONE: 718.667.6682 | FAX: 718.667.1196
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WWW.GLARCH.COM

NO.	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR FILING
2	11-20-17	ISSUED FOR PHASE ONE SCOPE
3	12-14-17	ISSUED FOR P.A.A.
4	1-12-18	ISSUED FOR PHASE TWO SCOPE

PROJECT: 275 BLEECKER STREET BLOCK NO. 590 LOT NO. 10
CLIENT: WHARTON REALTY 500 FIFTH AVENUE 54TH FLOOR NEW YORK, NY 10010

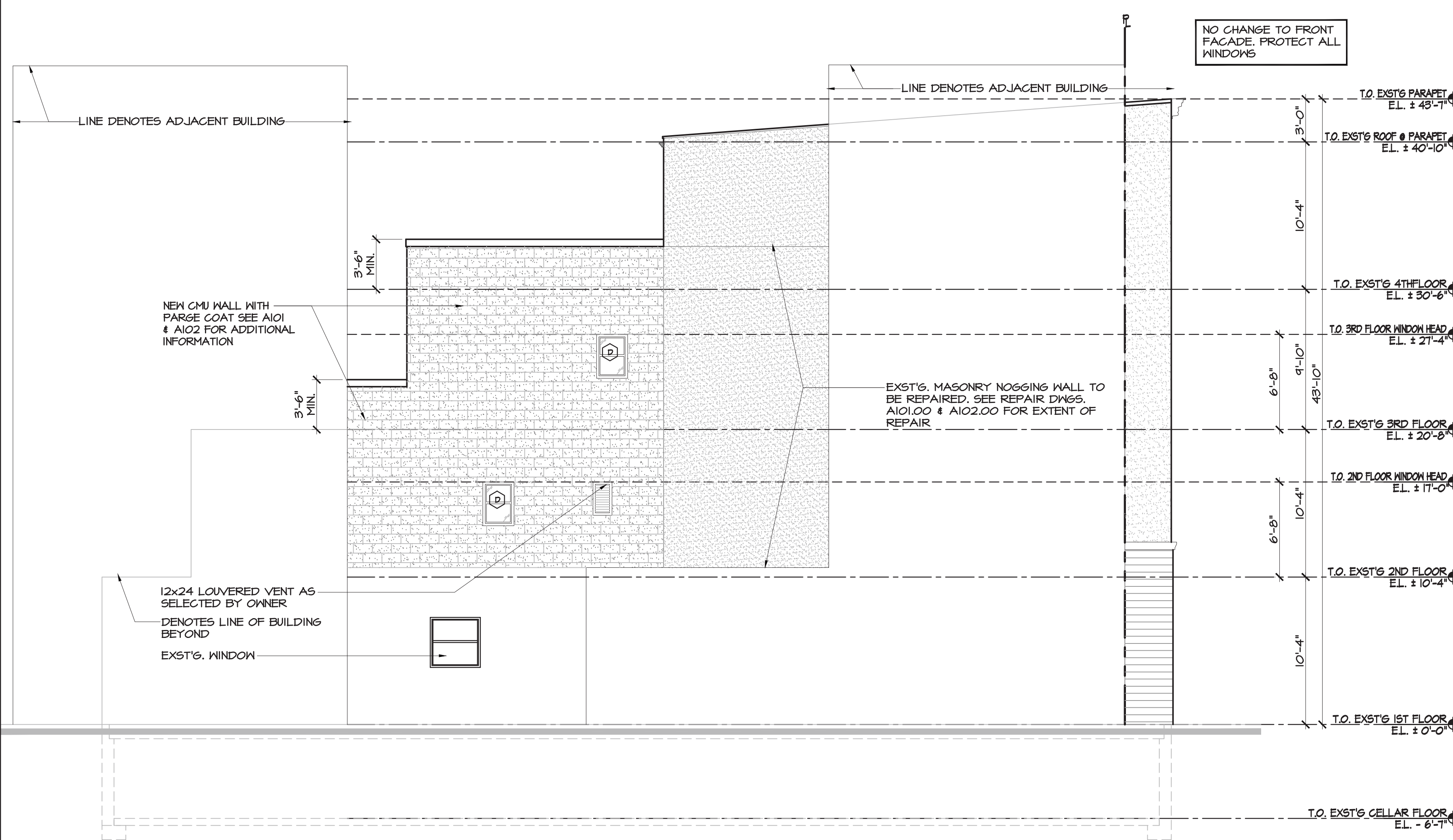
PHASE TWO
FOURTH FLOOR & ROOF PLAN
SCALE: AS NOTED
SEAL AND SIGNATURE

DATE: 12MAR18	PROJECT NO: GLA16-0447
DRAWN BY: MT	DESIGNED BY:
CHECKED BY: SG	APPROVED BY:
DRAWING NO: A102.02	SHEET NO: 16 OF 46

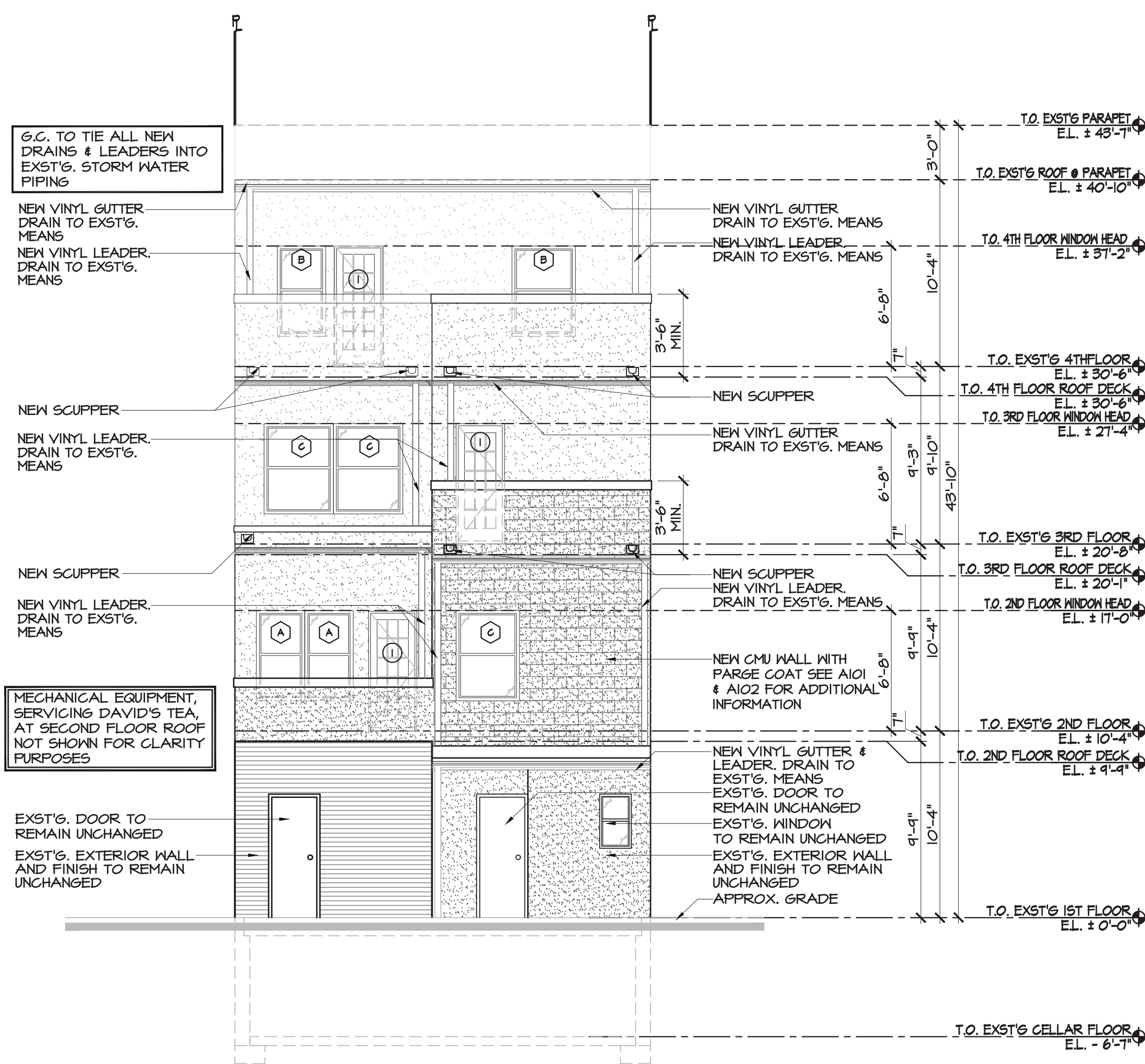
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② SIDE ELEVATION
 SCALE: 3/16" = 1'-0"
 (NORTH ELEVATION)



① REAR ELEVATION
 SCALE: 3/16" = 1'-0"
 (EAST ELEVATION)

REVISIONS	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR FILING
2	12-20-17	ISSUED FOR PHASE ONE SCOPE
3	2-7-18	ISSUED FOR P.A.A.
4	9-12-18	ISSUED FOR PHASE TWO SCOPE

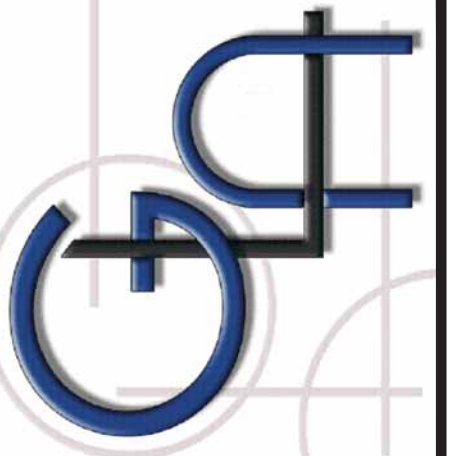
PROJECT TITLE: 275 BLEECKER STREET
CLIENT: WHARTON REALTY
 500 FIFTH AVENUE, 54TH FLOOR
 NEW YORK, NY 10110

DRAWING TITLE: PHASE TWO BUILDING ELEVATIONS: NORTH & EAST
SCALE: AS NOTED

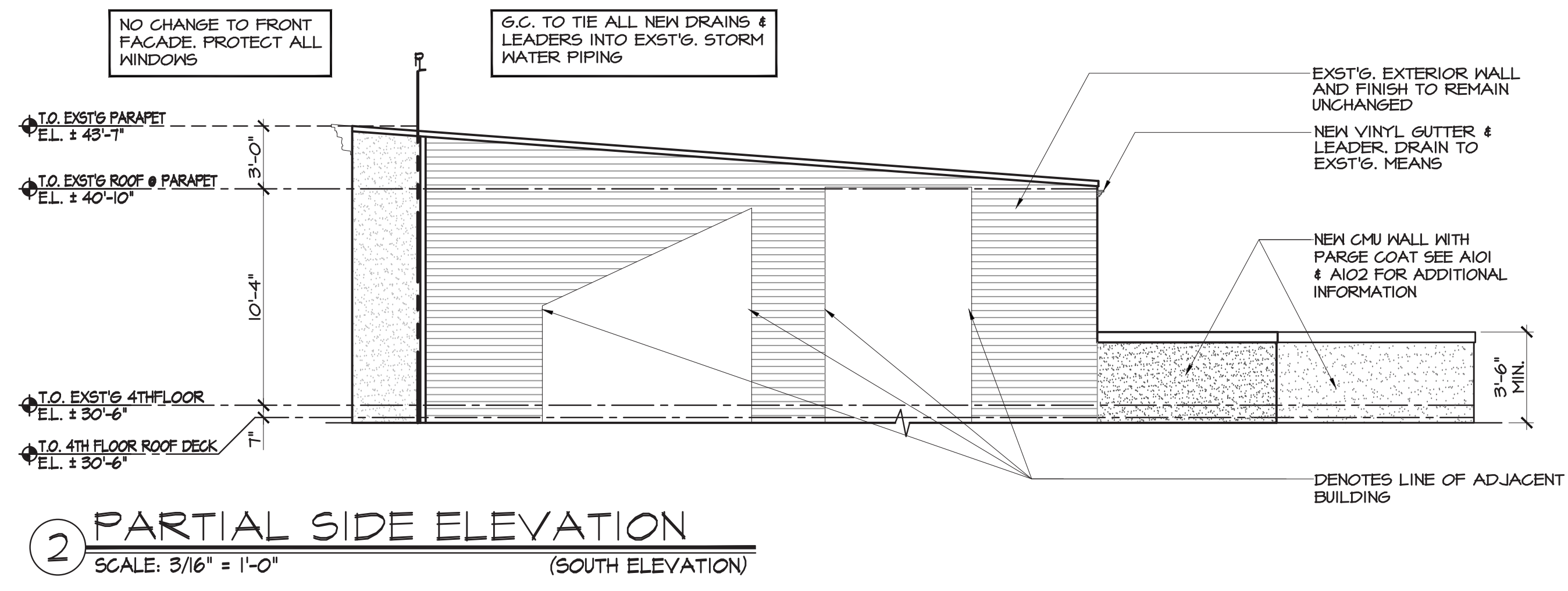
SEAL AND SIGNATURE: STEVEN GAMBINO, R.A.

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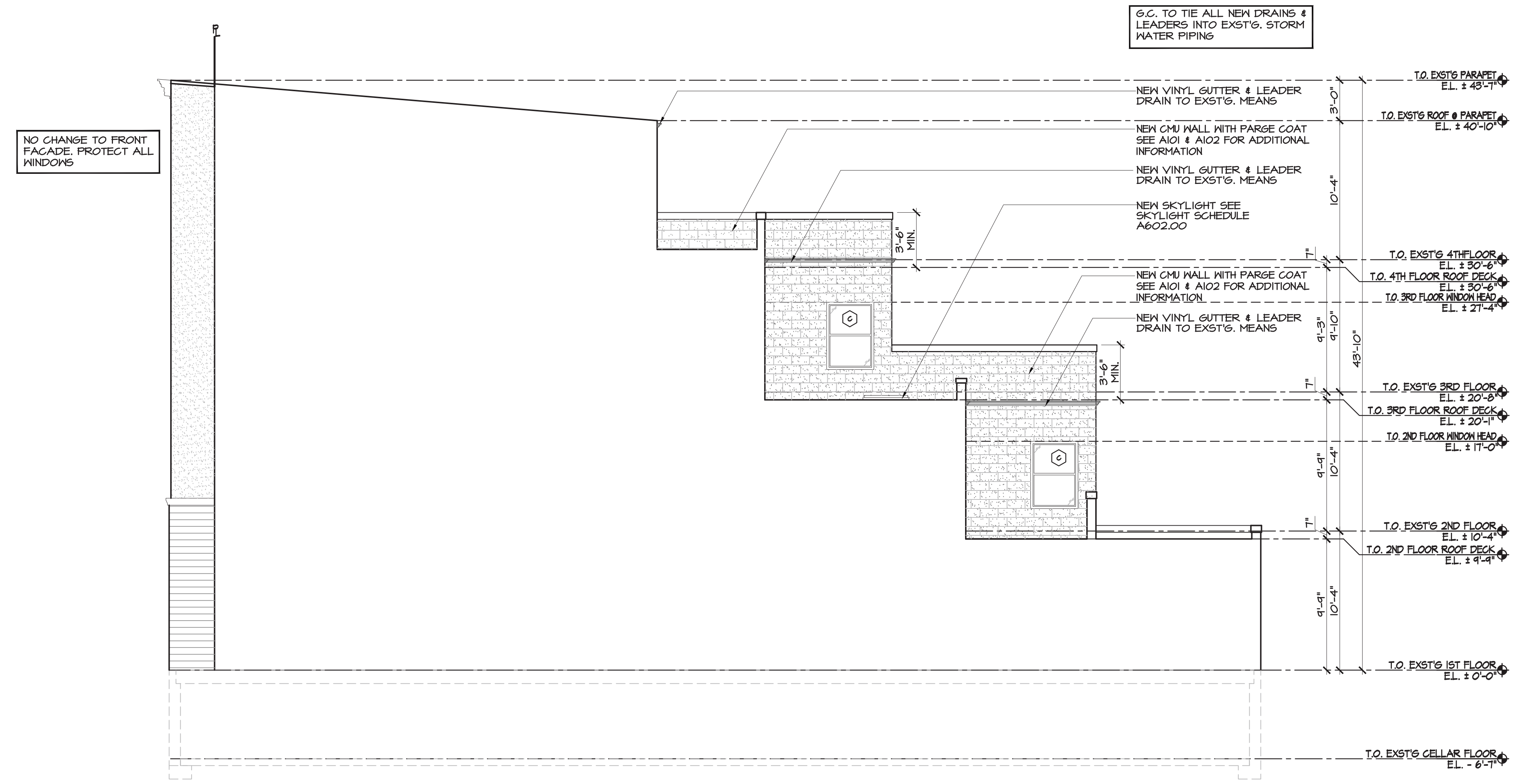
DATE: 12/20/17
PROJECT NO.: GLA16-0447
DRAWN BY: MT
CHECKED BY: 56
DRAWING NO.: A200.00
SHEET NO.: 20 OF 46



GAMBINO + LAPORTA
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 1298 RICHMOND ROAD STATEN ISLAND, NY 10304
 PHONE: 718.667.6682 | FAX: 718.667.1196
 EMAIL: STUDIO@GLARCH.COM
 WWW.GLARCH.COM



2 PARTIAL SIDE ELEVATION
 SCALE: 3/16" = 1'-0"
 (SOUTH ELEVATION)



1 SIDE ELEVATION
 SCALE: 3/16" = 1'-0"
 (SOUTH ELEVATION)

REVISION	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR PERMITS
2	12-20-17	ISSUED FOR PHASE ONE SCOPE
3	2-14-18	ISSUED FOR P&A
4	9-12-18	ISSUED FOR PHASE TWO SCOPE

PROJECT: 275 BLEEKER STREET
 275 BLEEKER STREET BLOCK NO. 590
 NEW YORK, NY 10014 LOT NO. 10

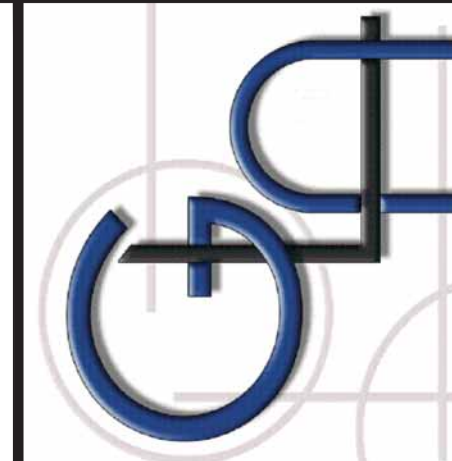
CLIENT: WHARTON REALTY
 500 FIFTH AVENUE, 54TH FLOOR
 NEW YORK, NY 10110

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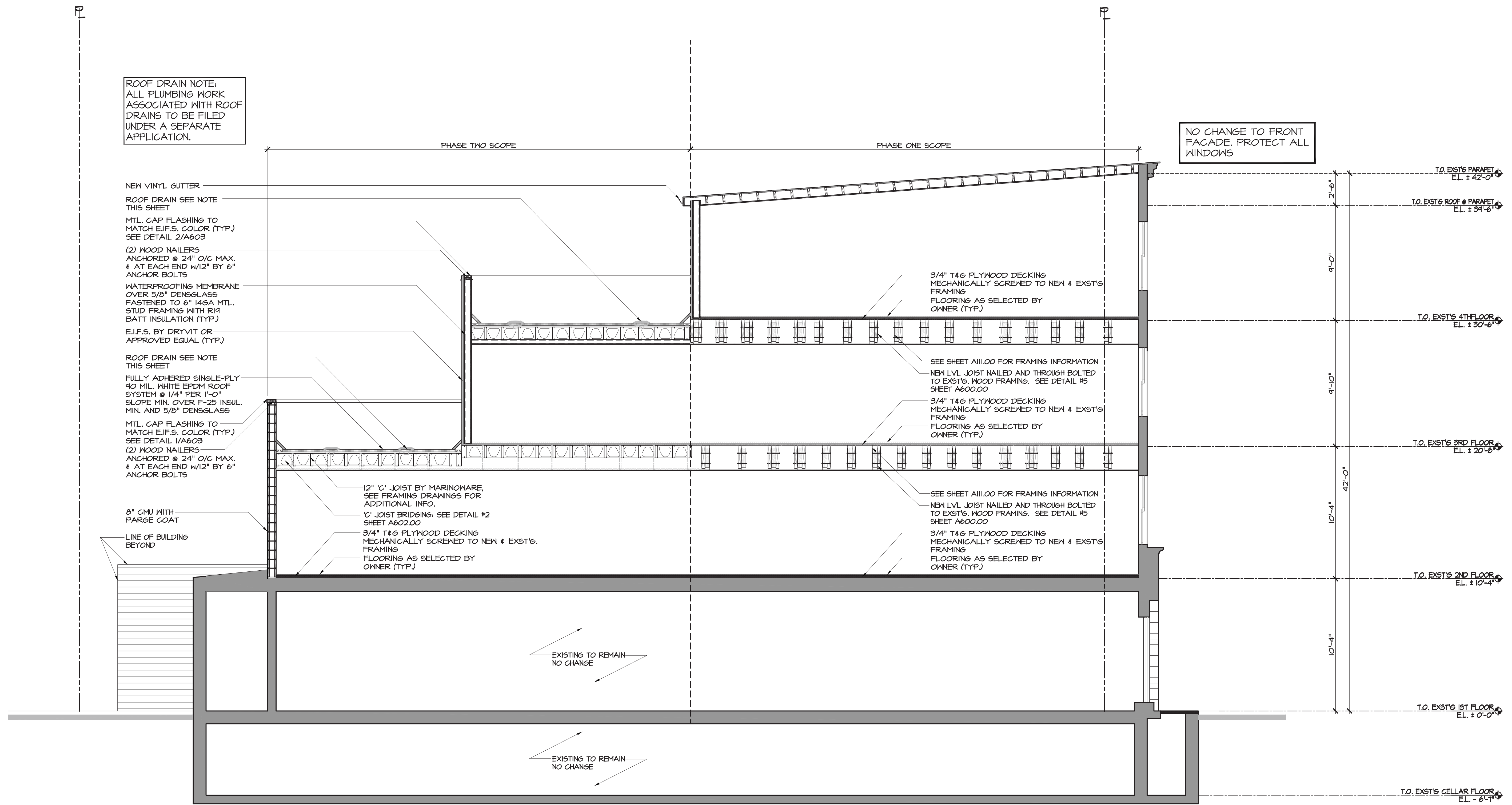
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NEW VINYL GUTTER
 ROOF DRAIN SEE NOTE
 THIS SHEET
 MTL. CAP FLASHING TO
 MATCH E.I.F.S. COLOR (TYP.)
 SEE DETAIL 2/A603
 (2) WOOD NAILERS
 ANCHORED @ 24" O/C MAX.
 # AT EACH END W/12" BY 6"
 ANCHOR BOLTS
 WATERPROOFING MEMBRANE
 OVER 5/8" DENSGLASS
 FASTENED TO 6" 14GA MTL.
 STUD FRAMING WITH R19
 BATT INSULATION (TYP.)
 E.I.F.S. BY DRYVIT OR
 APPROVED EQUAL (TYP.)
 ROOF DRAIN SEE NOTE
 THIS SHEET
 FULLY ADHERED SINGLE-PLY
 90 MIL. WHITE EPDM ROOF
 SYSTEM @ 1/4" PER 1'-0"
 SLOPE MIN. OVER F-25 INSUL.
 MIN. AND 5/8" DENSGLASS
 MTL. CAP FLASHING TO
 MATCH E.I.F.S. COLOR (TYP.)
 SEE DETAIL 1/A603
 (2) WOOD NAILERS
 ANCHORED @ 24" O/C MAX.
 # AT EACH END W/12" BY 6"
 ANCHOR BOLTS

12" 'C' JOIST BY MARINOWARE,
 SEE FRAMING DRAWINGS FOR
 ADDITIONAL INFO.
 'C' JOIST BRIDGING. SEE DETAIL #2
 SHEET A602.00
 3/4" T&G PLYWOOD DECKING
 MECHANICALLY SCREWED TO NEW & EXST'G
 FRAMING
 FLOORING AS SELECTED BY
 OWNER (TYP.)

3/4" T&G PLYWOOD DECKING
 MECHANICALLY SCREWED TO NEW & EXST'G
 FRAMING
 FLOORING AS SELECTED BY
 OWNER (TYP.)

SEE SHEET A111.00 FOR FRAMING INFORMATION
 NEW LVL JOIST NAILED AND THROUGH BOLTED
 TO EXST'G. WOOD FRAMING. SEE DETAIL #5
 SHEET A600.00
 3/4" T&G PLYWOOD DECKING
 MECHANICALLY SCREWED TO NEW & EXST'G
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 SHEET A600.00
 3/4" T&G PLYWOOD DECKING
 MECHANICALLY SCREWED TO NEW & EXST'G
 FRAMING
 FLOORING AS SELECTED BY
 OWNER (TYP.)

EXISTING TO REMAIN
 NO CHANGE

EXISTING TO REMAIN
 NO CHANGE

T.O. EXST'G PARAPET
 EL. ± 42'-0"
 T.O. EXST'G ROOF @ PARAPET
 EL. ± 34'-6"
 9'-0"
 9'-10"
 T.O. EXST'G 4TH FLOOR
 EL. ± 30'-6"
 42'-0"
 T.O. EXST'G 3RD FLOOR
 EL. ± 20'-6"
 10'-4"
 T.O. EXST'G 2ND FLOOR
 EL. ± 10'-4"
 10'-4"
 T.O. EXST'G 1ST FLOOR
 EL. ± 0'-0"
 T.O. EXST'G CELLAR FLOOR
 EL. - 6'-1"

① **LONGITUDINAL SECTION A-A**
 SCALE: 1/4" = 1'-0"

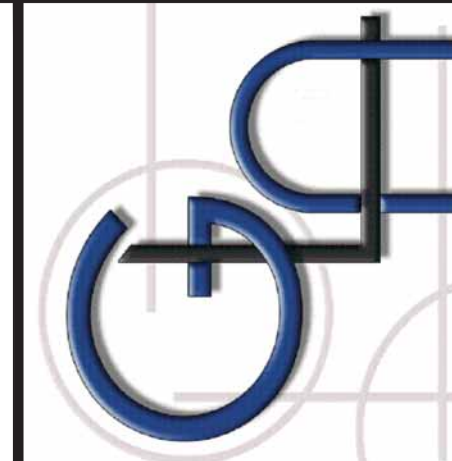
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 275 BLEEKER STREET
 275 BLEEKER STREET
 NEW YORK, NY 10014
 BLOCK NO. 590
 LOT NO. 10
CLIENT:
 WHARTON REALTY
 500 FIFTH AVENUE, 54TH FLOOR
 NEW YORK, NY 10110

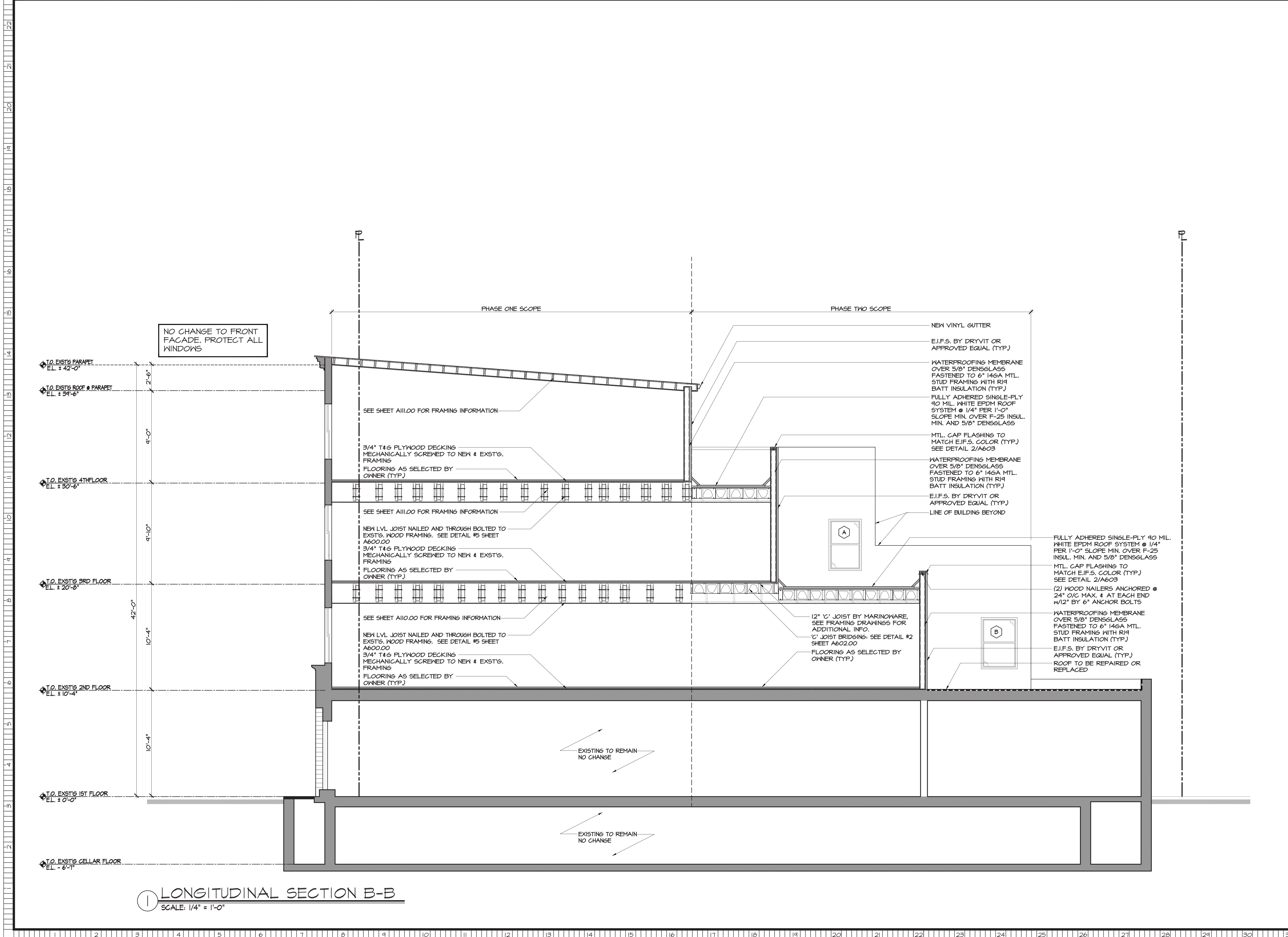
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PROJECT TITLE	275 BLEEKER STREET
BLOCK NO.	590
LOT NO.	10
CLIENT	WHARTON REALTY
	500 FIFTH AVENUE 54TH FLOOR
	NEW YORK, NY 10110

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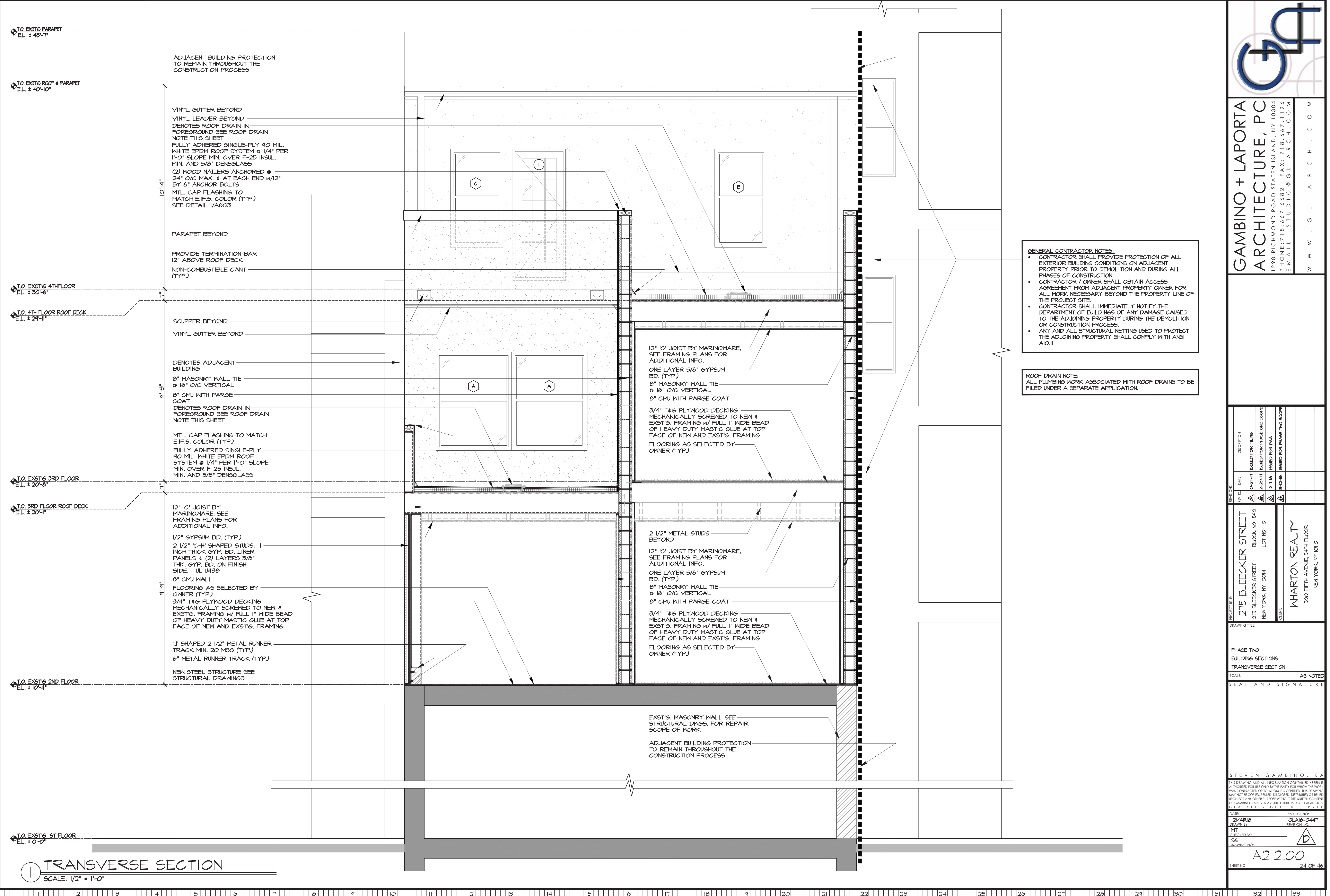


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- CONTRACTOR / OWNER SHALL OBTAIN ACCESS AGREEMENT FROM ADJACENT PROPERTY OWNER FOR ALL WORK NECESSARY BEYOND THE PROPERTY LINE OF THE PROJECT SITE.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEPARTMENT OF BUILDINGS OF ANY DAMAGE CAUSED TO THE ADJOINING PROPERTY DURING THE DEMOLITION OR CONSTRUCTION PROCESS.
- ANY AND ALL STRUCTURAL NETTINGS USED TO PROTECT THE ADJOINING PROPERTY SHALL COMPLY WITH ANSI A10.11

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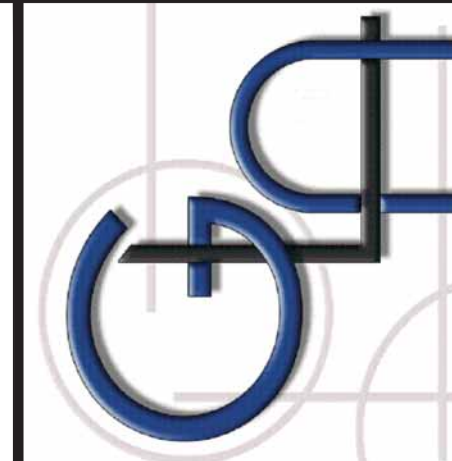
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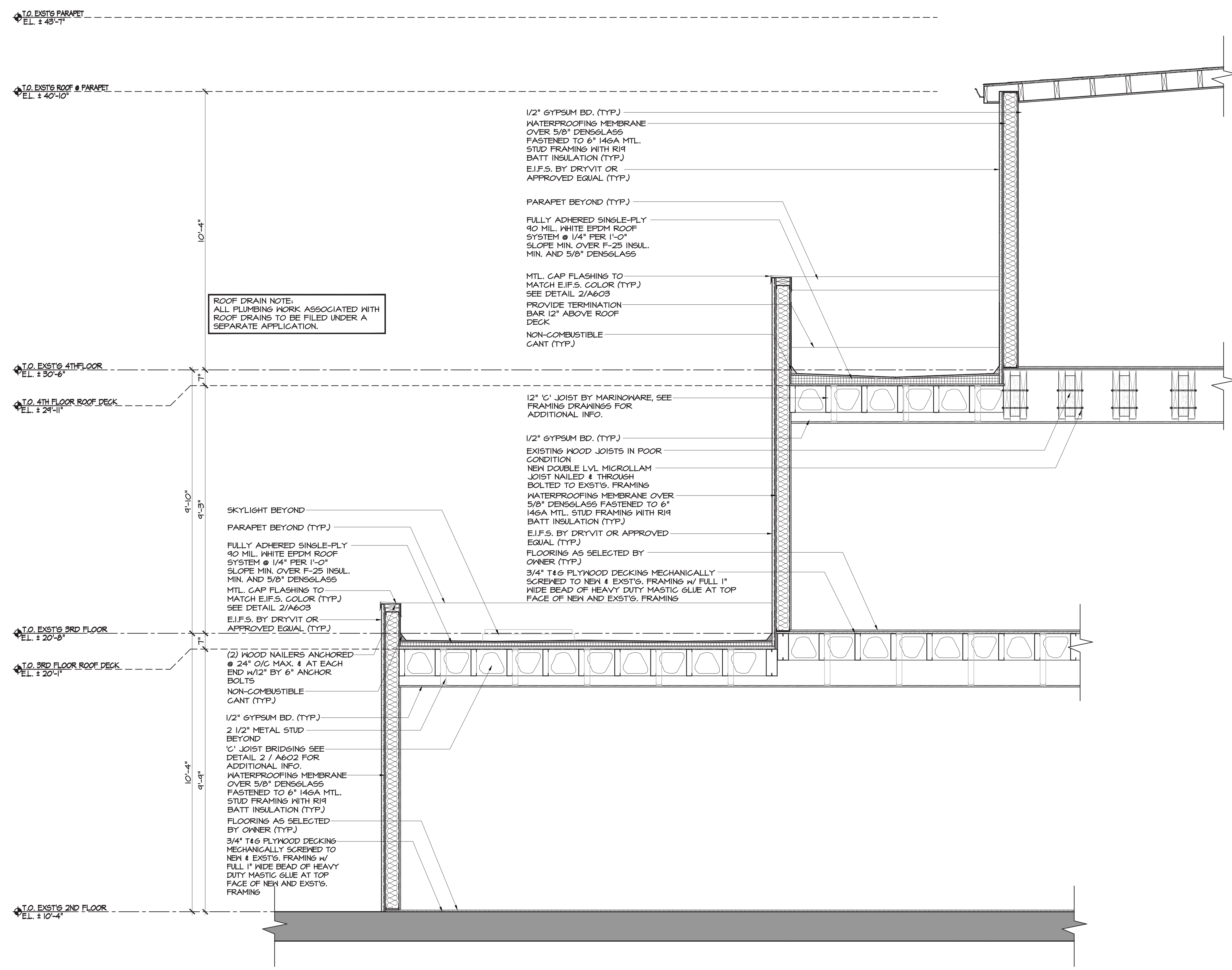
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SKYLIGHT BEYOND
 PARAPET BEYOND (TYP.)
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 E.I.F.S. BY DRYVIT OR APPROVED EQUAL (TYP.)

(2) WOOD NAILERS ANCHORED @ 24" O/C MAX. & AT EACH END W/12" BY 6" ANCHOR BOLTS
 NON-COMBUSTIBLE CANT (TYP.)
 1/2" GYPSUM BD. (TYP.)
 2 1/2" METAL STUD BEYOND
 'C' JOIST BRIDGING SEE DETAIL 2 / A602 FOR ADDITIONAL INFO.
 WATERPROOFING MEMBRANE OVER 5/8" DENSGLASS FASTENED TO 6" 14GA MTL. STUD FRAMING WITH R19 BATT INSULATION (TYP.)
 FLOORING AS SELECTED BY OWNER (TYP.)
 3/4" T&G PLYWOOD DECKING MECHANICALLY SCREWED TO NEW & EXIST'G. FRAMING W/ FULL 1" WIDE BEAD OF HEAVY DUTY MASTIC GLUE AT TOP FACE OF NEW AND EXIST'G. FRAMING

1/2" GYPSUM BD. (TYP.)
 WATERPROOFING MEMBRANE OVER 5/8" DENSGLASS FASTENED TO 6" 14GA MTL. STUD FRAMING WITH R19 BATT INSULATION (TYP.)
 E.I.F.S. BY DRYVIT OR APPROVED EQUAL (TYP.)

PARAPET BEYOND (TYP.)
 FULLY ADHERED SINGLE-PLY 90 MIL. WHITE EPDM ROOF SYSTEM @ 1/4" PER 1'-0" SLOPE MIN. OVER F-25 INSUL. MIN. AND 5/8" DENSGLASS

MTL. CAP FLASHING TO MATCH E.I.F.S. COLOR (TYP.) SEE DETAIL 2/A603
 PROVIDE TERMINATION BAR 12" ABOVE ROOF DECK
 NON-COMBUSTIBLE CANT (TYP.)

12" 'C' JOIST BY MARINOWARE, SEE FRAMING DRAWINGS FOR ADDITIONAL INFO.

1/2" GYPSUM BD. (TYP.)
 EXISTING WOOD JOISTS IN POOR CONDITION
 NEW DOUBLE LVL. MICROLLAM JOIST NAILED & THROUGH BOLTED TO EXIST'G. FRAMING
 WATERPROOFING MEMBRANE OVER 5/8" DENSGLASS FASTENED TO 6" 14GA MTL. STUD FRAMING WITH R19 BATT INSULATION (TYP.)
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WALL SECTION I
 SCALE: 1/2" = 1'-0"

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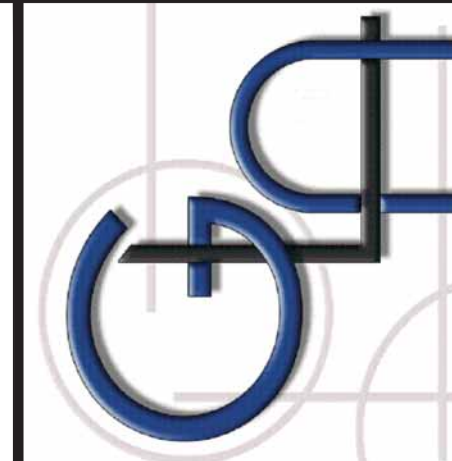
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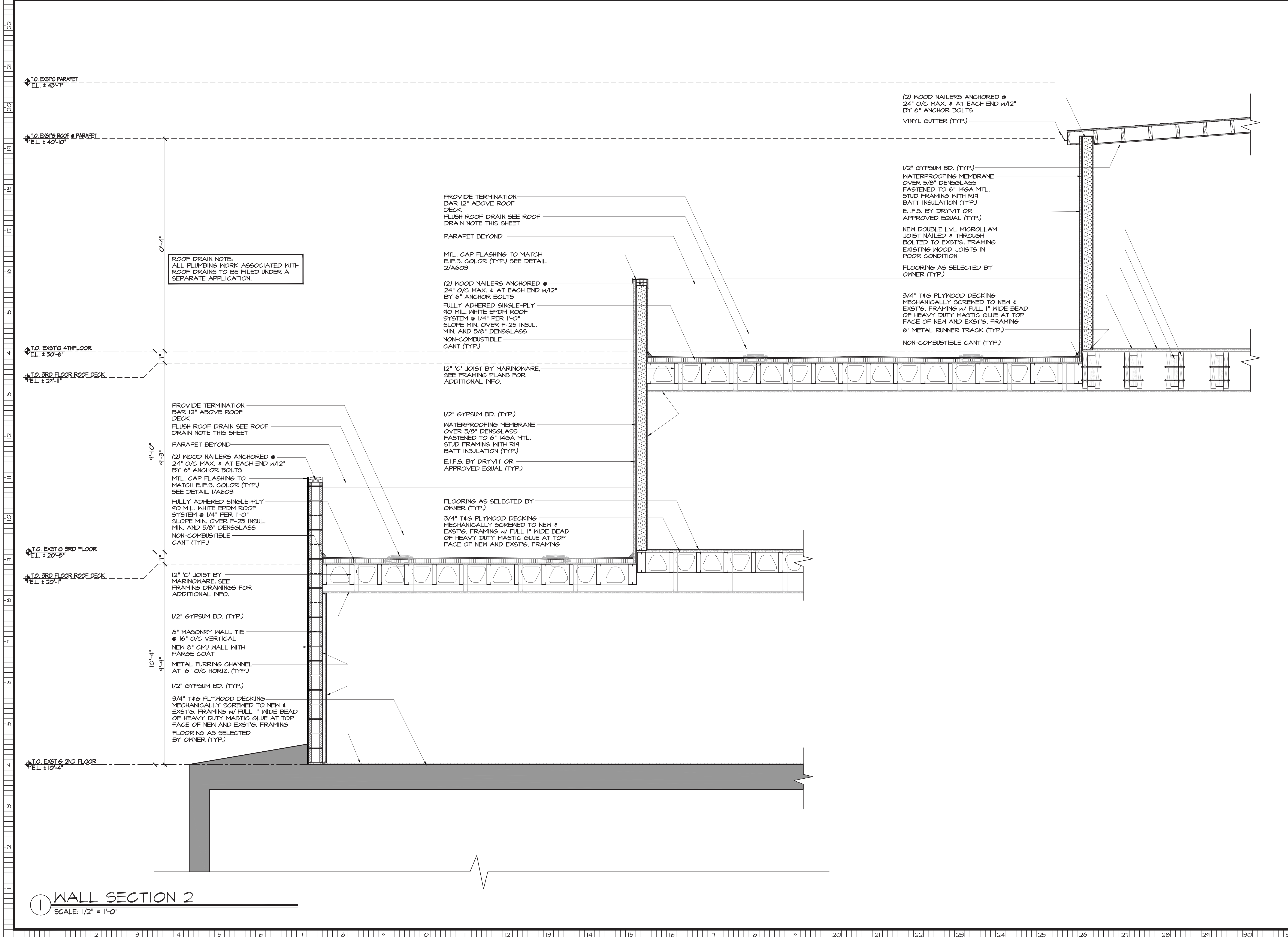
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Structural Assessment Report

for

275 Bleecker Street, New York, New York, 10014

Prepared for:

**Wharton Realty
500 5th Avenue
54th Floor
New York, NY 10110**

Prepared by:



139 Fulton Street, Suite 907,
New York, NY 10038
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April 10, 2018

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1.0 INTRODUCTION

1.1 Scope of Work

On behalf of Mr. Eric Setton of Wharton Realty, (hereinafter referred to as the Client), GRANT engineering (GRANT) performed a field assessment and prepared a structural assessment report for the property located at 275 Bleecker Street, New York, NY 10014 (hereinafter referred to as the Site). The Site is located between Jones Street and Cornelia Street.

Existing conditions drawings, which includes the plans of the floors surveyed during this assessment as well as details regarding the area of concern, is included as an attachment to this report in **Appendix A**.

Task 1 – Field Assessment

Structural Assessment: GRANT performed an onsite visual assessment of the existing conditions, at the Site. The purpose was to determine the nature of the existing conditions, identify any structural issues or deficiencies with the building structure for all floors, including the cellar, and to identify any issues that need to be addressed for a DOB submission. The findings of the structural assessment can be found in this report below.

Task 2– Structural Assessment Report and Recommendations

This report constitutes a structural assessment report that includes details of findings and recommendations for work moving forward. The recommendations will be used as the basis of a scope of work for design of rehabilitation.

2.0 EXISTING BUILDING CONDITION SURVEY

2.1 Structural System

275 Bleecker Street is a mixed residential and commercial building located in the West Village neighborhood in Manhattan, NY. The building was built in 1920 and has 4 stories with 5 units total. The building is utilized as a residential and commercial building. The Site is identified as Block 590 Lot 10 with approximated 1840 sq ft of lot space. The first floor is currently being utilized as commercial unit. There is also an unoccupied residential apartment on the first floor. The second through fourth floors have been identified for renovation by the building owner. The cellar at the Site encompasses approximately half of the footprint of the building. The building is composed of multiple structural systems corresponding to distinct phases of the building's construction. The front half of the building is four stories of noggin wall construction—heavy timber wood frame infilled with clay masonry. The rear portion includes multiple additions, the first of which is three story masonry construction on the western half of the rear. The eastern portion of the rear is wood frame construction, comprising the first two floors.

The cellar consists of rock masonry foundation walls and slab on grade. The area was assessed for structural related issues including all floors, cellar and facades (hereinafter referred to as the Area of Concern, AOC).

The assessment was visual in nature, conducted using methods and procedures consistent with good commercial practices and designed to conform to acceptable industry standards. Independent conclusions are made based on professional judgment of existing conditions and on information available during the course of the assessment.

During the survey, the following rating system, based on the visual relative conditions of the structures and/or distress features, was implemented:

- Excellent – No visual distress features
- Good – Localized minor distress features (i.e. plaster cracks);
- Fair – Wide range of minor distress features;
- Poor - Wide range of major distress features, structural integrity not compromised;
- Very poor - Extensive distress features, structural integrity possibly compromised.

Where access was granted, the assessment covered interior walls, ceilings, floors, columns and slabs at cellar level within the AOC. The structural assessment did not include examining limited-visibility or limited-access areas or spaces, nor did it include any type of physical testing or investigation of building elements or subsurface conditions.

The layout of the building is presented in **Appendix A**. A photograph log is included in **Appendix B** which provides photographs and notes taken during the on-site surveys.

2.2 Envelope

2.2.1 Front Façade

During the field assessment, Grant identified minor distress in the front façade. The front façade is comprised of single wythe wide noggin wall with wood cladding and plaster stucco. The plaster stucco exhibits cracking in multiple locations. Any exterior work related to the front facade will be filed under a separate application to LPC. No work is scheduled for the front façade under this current application.

2.2.2 Rear Façade

The rear façade is in poor condition overall. The eastern half of the rear façade is wood frame with vinyl siding. The vinyl siding is in poor condition and requires replacement. Multiple openings and leaks were observed. The western portion of the rear façade is masonry in poor condition. GRANT observed flaking of masonry mortar, missing and damaged brick, and bulging of masonry in multiple locations. The rear façade at the fourth floor is corrugated steel. The fourth-floor rear façade should be replaced and updated with modern cladding material.

2.2.3 East/West Façades

The east façade is only visible at the front of the structure where it is proud of the neighboring building. This location is comprised of the same material as the front façade and exhibits similar stucco cracking in multiple locations. The remainder of the east façade of the front portion of the building exhibits large gaps where the two chimneys were removed, revealing the neighbor's masonry wall.

The west façade of the front portion of the structure is cladded with wood cladding exhibiting gaps and deterioration. The rear portion is masonry in poor condition. GRANT observed poor condition of mortar joints, missing or damaged brick and bulging in multiple locations. Bulging was not observed on the interior side of the west wall, indicating potential separation between wythes.

2.2.4 Roofs

Roof membrane of the main roof was observed to be in good condition where observed. The rear of the structure is covered by three separate roofs. The third floor immediately adjacent to the main roof is covered in wood deck and was inaccessible. In the rear east portion of the structure leaks were observed in the corrugated roof. The remaining roof over the first floor in the eastern rear portion of the structure is in poor condition condition.

2.3 Interiors

2.3.1 Cellar

The cellar was observed to be in fair condition. Foundations walls do not exhibit cracking, movement or water damage. Slab on grade floors are in fair condition.

2.3.2 1st Floor

Assessment of the first floor was limited due to active use of the commercial space and limited access at first floor apartment.

2.3.3 2nd, 3rd, & 4th Floors

The front portion of the 2nd thru 4th floor was in consistent poor condition. Noggin wall exhibits large gaps in infill masonry, inconsistent or interrupted wood framing load paths, and wood joists in very poor condition exhibiting sagging over 2" and flexural or shear cracking.

The rear portion of the structure on the east side comprised of wood framing is in very poor condition and requires shoring. The floor/wall interface has separated at the third floor.

The rear portion of the structure on the west side comprised of masonry construction is in very poor condition. The floors are damaged, with large openings in the subfloor. The masonry walls are in very poor condition with large openings and gaps throughout. One rear window has collapsed into the building. Lintels are in poor condition or are missing over openings.

3.0 CONCLUSION AND RECOMMENDATIONS

3.1 Summary of Findings

Front Portion of Structure	
Front Façade	✚ Front façade requires restuccoing. Noggin wall should be repaired, strengthened, tied back into floor system.
Rear Façade	✚ 4 th Floor rear façade corrugated steel should be replaced with modern building material.
East Façade	✚ Requires restuccoing where proud of neighbor. ✚ Requires infill structure where gaps exist for removed chimney.
West Façade	✚ Cladding should be replaced
Interior	✚ Noggin walls should be repaired and retrofitted with new structure. ✚ Joists should be sistered or replaced.

Rear Portion of Structure	
East Portion (cladding over framing)	✚ Eastern portion should be demolished and replaced with a modern building material.
West Portion (masonry)	✚ Western portion should be demolished and rebuilt with CMU masonry.

3.2 Recommendations

Based on the observations made during the existing conditions assessment, GRANT recommends structural reconstruction, repairs and alterations corresponding to the listed deficiencies. The repairs and alterations should be performed within the space to ensure life safety and long-term performance of the building.

The front portion of the building comprised of noggin wall construction should be repaired and retrofitted to ensure proper structural performance and life safety. The rear portions of the building are in very poor condition and should be demolished and rebuilt with modern construction materials, including reinforced CMU on the western side and cold form steel framing on the eastern portion.

4.0 SIGNATURES

Generally accepted engineering practices were followed in the preparation of this report. No other warranty, expressed or implied is made. The recommendations and analysis presented in this report were based on the visual assessment performed at the site. Variations between the observed and actual site conditions may not become evident until construction has begun. It may be necessary to revise or reevaluate the recommendations of this report should extensive variations become evident.

Prepared by,
Matthew Sisul, PE



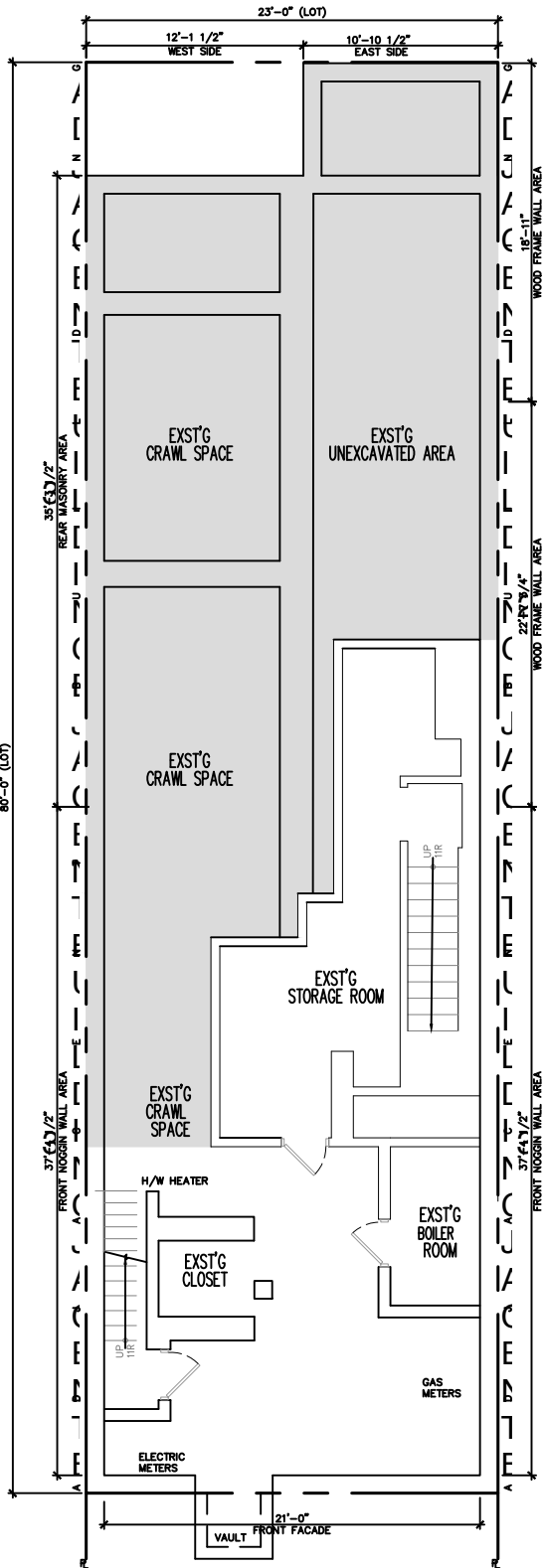
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5.0 APPENDICES

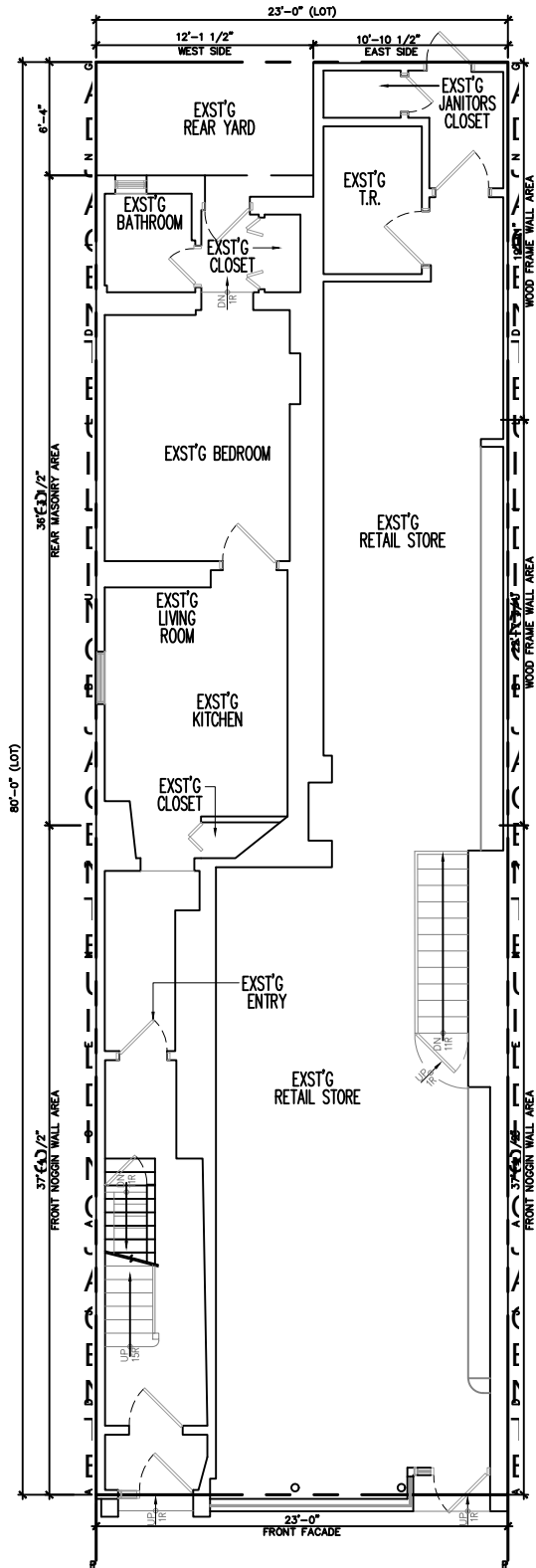
5.1 Appendix A: Existing Conditions Plan

5.2 Appendix B: Photo Log



1 CELLAR FLOOR

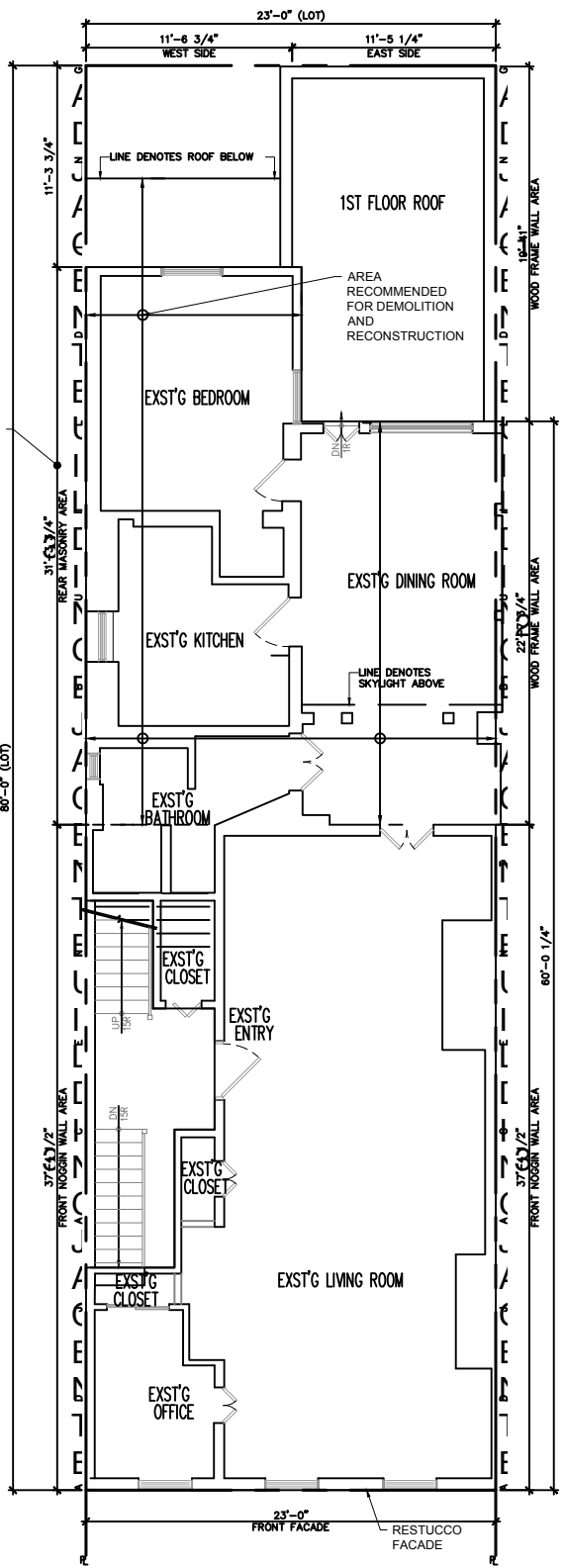
Scale: 3/32"=1'



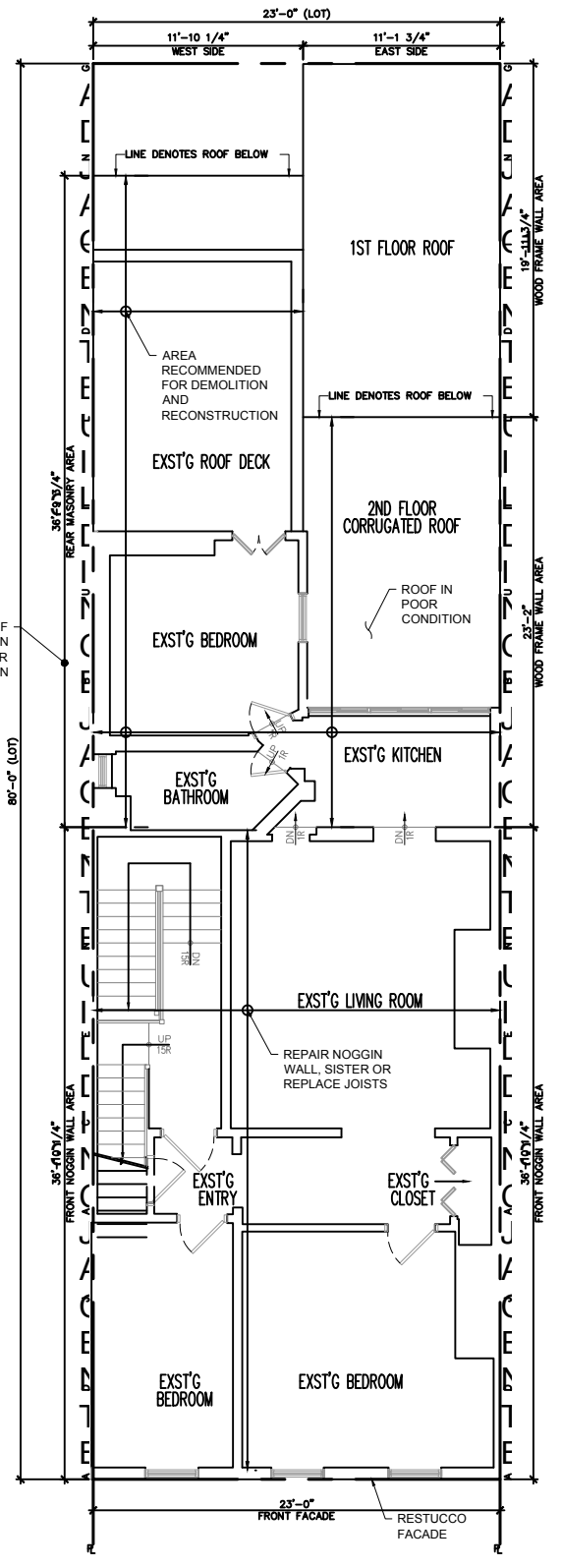
2 FIRST FLOOR

Scale: 3/32"=1'



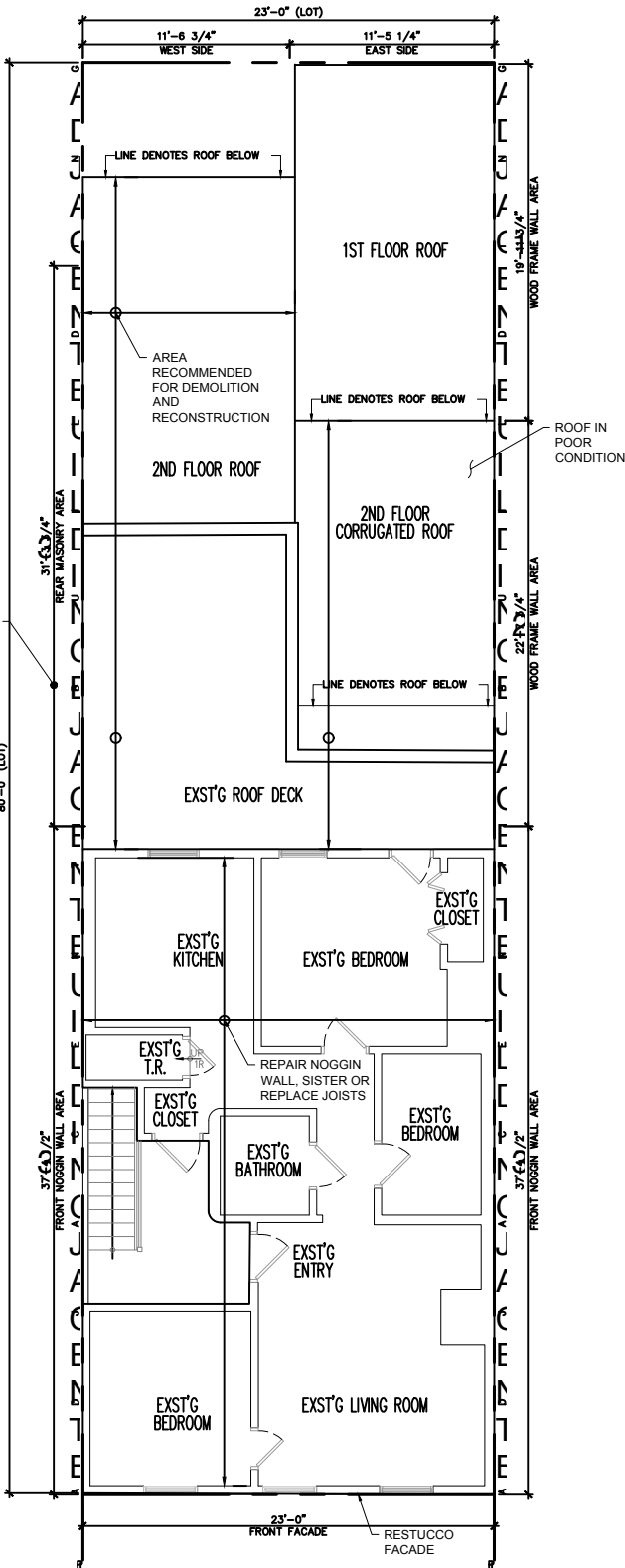


1 SECOND FLOOR
Scale: 3/32"=1'

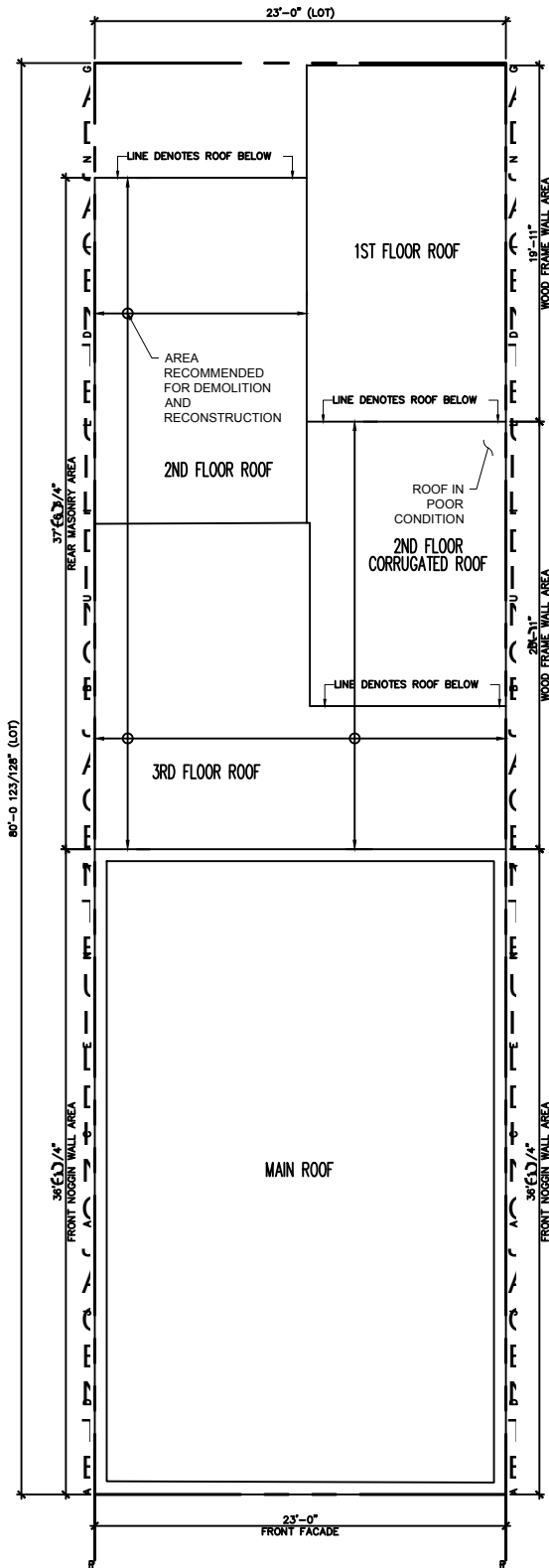


2 THIRD FLOOR
Scale: 3/32"=1'





1 FOURTH FLOOR
Scale: 3/32"=1"



2 ROOF
Scale: 3/32"=1"

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FOURTH FLOOR
ROOF

SK-03



PHOTO LOG



275 BLEECKER FRONT FAÇADE IN GOOD CONDITIONS



REAR FAÇADE EASTERN PORTION



REAR FAÇADE FIRST FLOOR WESTERN PORTION



REAR FAÇADE EXTERIOR WALL SEPARATING EASTERN AND WESTERN PORTION EXHIBITING DETERIORATION AT WINDOW



REAR FAÇADE FOURTH FLOOR CORRUGATED STEEL



WEST FAÇADE FRONT PORTION WOOD CLADDING



BRICKS BETWEEN TWO WINDOWS ARE WATER DAMAGED AT 275 REAR SIDE FAÇADE



VERTICAL MEDIUM CRACK AT 275 BLEECKER SIDE FAÇADE



SILL AND LINTEL IN VERY POOR CONDITIONS AT BOTTOM WINDOW SIDE FAÇADE



275 BLEECKER FOUNDATION WALL OUTSIDE FACE IN GOOD CONDITIONS



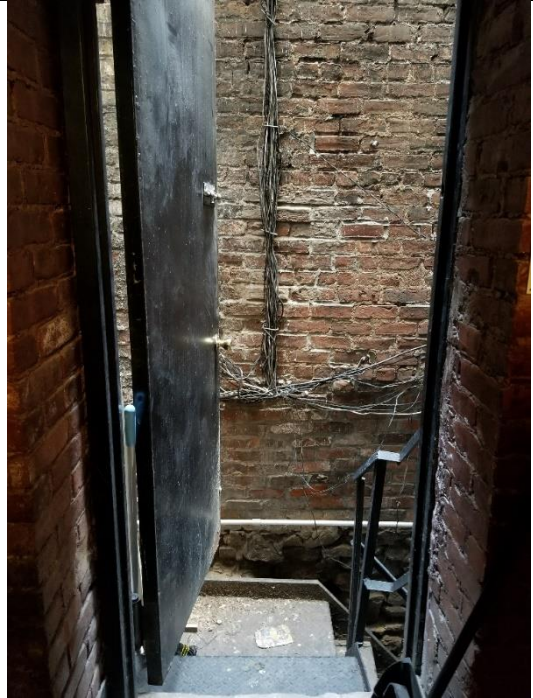
6" GAP BETWEEN 275 BLEECKER FOUNDATION WALL AND 277 FOUNDATION WALL.



275 BLEECKER SIDE FAÇADE IS LEANING AT VARIOUS LOCATIONS



DISINTEGRATED LOOSE MORTAR BETWEEN BRICKS



ALLEYWAY BETWEEN THE TWO BUILDINGS
TOWARDS THE REAR



FRONT PORTION INTERIOR NOGGIN WALL
EXHIBITING GAPS IN MASONRY INFILL



FRONT PORTION JOISTS IN POOR CONDITION



REAR EASTERN PORTION WOOD FRAMING



JOISTS OVER OPENING WITHOUT LINTEL.
DEFLECTION OF SILL BEAM



REAR EASTERN PORTION OF WOOD FRAMING,
DAMAGE/DISPLACEMENT AT WALL FLOOR
INTERFACE



REAR WESTERN PORTION OF MASONRY
STRUCTURE, EXHIBITING DAMAGE TO SUBFLOOR



MASONRY WALL WITH EXTENSIVE LOSS OF MASONRY, ONE WYTHE COLLAPSE



MASONRY WALL EXHIBTING DETERIORATION



JOISTS FRAMING INTO MASONRY IN POOR CONDITION, MASONRY IN POOR CONDITION